



Community and Economic Development Department – Planning Division

Memorandum

MEMO: October 9, 2024
TO: Zoning Administrator
FROM: Maurie Brenyah-Addow, Senior Planner

RE: Fisherman's Catch, 2685 East Leland Road, AP-24-0085 (AUP, DR).

ORIGINATED BY: Wolfgang Croskey, (925) 415-6076, wolf@croskeyrealestate.com

SUBJECT: This is an application filed by Wolfgang Croskey, on behalf of Fisherman's Catch, for an Administrative Use Permit (AUP) and Design Review (DR) to establish a commercial seafood store and processing operation in the IL-O zone and make minor exterior and site enhancements to existing commercial building located at 2685 East Leland Road. AP-24-0085; APN: 088-152-017

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a Resolution (Attachment 1), approving Use Permit and Design Review Application No. 24-0085, subject to conditions.

BACKGROUND:

The project site is 0.90-acre site located at 2685 East Leland Road and previously served as a Lumber Liquidators store. The 2040 General Plan Land Use Map changed the General Plan designation from Business Commercial to Employment Center Industrial (ECI). The site is among five sites that recently underwent a series of Zoning Map Amendments to implement new land use designations consistent with the 2040 General Plan Land Use Map, as required by Government Code Section 65860.

Subsequently, the city initiated a rezoning of the parcel from CS (Service Commercial District) to IL-O (Limited Industrial with Limited Overlay District) to allow for limited food processing, custom manufacturing and light industrial uses.

On August 13, 2024, a Notice of Intent to conduct a Zoning Administrator hearing for this project was included on the Planning Commission agenda consistent with PMC section 18.10.050.

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PROJECT DESCRIPTION:

Existing Conditions:

The project site is a 0.90-acre site containing an 8,074 square-foot commercial building that formerly was a Lumber Liquidators store for hardwood floors. The site has two driveways, maneuvering aisles that encircle the building, and parking areas at the front, sides and rear. It also has landscaping strips and islands with some trees, shrubbery and scant groundcover for landscaping.

There is an existing monument sign within the landscaping area adjacent to the sidewalk, and an existing billboard next to a small trash enclosure at the rear of the property.

See Attachment 2 for Existing Conditions Photos.

Surrounding Land Uses:

North: Highway 4 (adjacent)
West: Autos Sales Lot (adjacent)
South: Los Medanos Community College
East: Multi-family residential units

See Attachment 3 for Map of Surrounding Land Uses.

Proposed Project:

The Fisherman's Catch project proposes to establish a seafood processing operation at the site with a specialization in crab products. The day-to-day activities are very minimal in part because they will not involve boiling or cooking of the crab. The application proposes to operate a facility that will maintain the industry standards of hygiene and quality control and that fully complies with United States Department of Agriculture (USDA) and Food and Drug Administration (FDA) regulations.

The proposed operations are designed to handle light scale processing, including sorting, cleaning, and packaging of crab meat. The processed crabs will be promptly chilled and either stored for retail or loaded directly onto trucks for wholesale distribution. The wide range of customers, include retailers, large grocery chains, and membership clubs.

In terms of logistics, the crabs are delivered and off-loaded on-site, where they are processed and prepared for distribution. The proposal anticipates handling approximately 20,000-25,000 pounds of seafood daily, with one truckload shipped daily.

During busy seasons from December to February, Fisherman's Catch will operate with extended hours from 6:00 am to 9:00 pm to manage increased production demands. In the off-season, operations will adjust to 6:00 am-6:00 pm.

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Approximately 10% of the total seafood weight becomes waste and will be collected daily by a licensed fertilizer company to be converted into fertilizer. The project will also be subject to additional precautionary measures for odor included in the Odor Impact Minimization Plan (OIMP). Additional business waste is minimal and will be managed through daily services by Mount Diablo Resources Recovery (MDRR).

The proposed Fisherman's Catch operation will have a minimum of 6 employees during the off-season (March through November) to a maximum of 50 employees on-site during the peak season (December through February).

See Attachment 4 for the Project Site and Floor Plans.

CODE COMPLIANCE:

Pittsburg General Plan 2040 The site is within the 'Loveridge' Subarea of the 2040 General Plan and has a land use designation of Employment Center Industrial (ECI).

The 2040 General Plan Update changed the General Plan designation from Business Commercial to Employment Center Industrial (ECI). Properties within the ECI designation are intended to foster vibrant, diverse, and dynamic employment hubs that accommodate technology, advanced manufacturing, logistics, and other sectors that generate substantial employment opportunities; uses may also include administrative, financial, business, professional, medical and public offices, business incubators, research and development, custom and light manufacturing, limited assembly, warehousing and distribution, data centers, technology and innovation, energy, hospitals and large-scale medical facilities, services, light and heavy automobile services, and supporting commercial uses.

The proposed project is consistent with General Plan Land Use Goal 2-P-4.2, in that it provides employment, and the site is fully served by public facilities and located along a major arterial – East Leland Road. The commercial building is located in a transitional area between commercial, institutional and residential along East Leland Road where there is a confluence of uses such as the adjacent auto sales lot, an existing multi-family residential apartment complex and a Los Medanos Community College across the street. The proposed project is also consistent with General Plan Land Use Goal 2-P-4.8, in that the proposal revitalizes a currently vacant and underutilized site and building.

Zoning: The proposal complies with the IL-O (Limited Industrial with Limited Overlay District) which allows for limited food processing, custom manufacturing and light industrial uses consistent with the 2040 General Plan Land Use Map which changed the General Plan designation from Business Commercial to Employment Center Industrial (ECI).

Off-Street Parking. PMC section 18.78.040 sets forth standards for off-street parking. The existing parking lot for the project site currently contains 41 parking spaces, two of which is ADA accessible. PMC section 18.78.040, Schedule A, sets forth standards for off-street parking and loading spaces required by type of use. The parking requirement is

1 space for every 750 square feet of floor area, therefore 11 spaces total and 1 loading space are required for the 8,074 square foot building. The site currently has 39 parking spaces and 2 accessible parking spaces. Therefore, no additional parking spaces are required.

On-site Bicycle Parking. PMC section 18.78.045 specifies a minimum number of bicycle parking stalls that must be provided on new non-residential sites based on the number of required off-street parking stalls for the use. According to this section of the PMC, for projects requiring 11 off-street parking spaces, 4 bicycle parking stall is required. Installation of the appropriate number of bicycle parking spaces will be required as a condition of approval.

Signage. The applicant has two existing signs (monument and wall signs) proposed to be refaced. As a condition of approval, the applicant will be required to secure a sign permit for the refacing of the existing signs.

Waste Disposal. Due to the nature of the proposed operations and potential for odor and other attendant nuisances, the applicant is required to store and dispose-off all organic waste in special containers kept indoors on a daily basis. The existing trash enclosure is only permitted for dry inorganic waste such as cardboards.

Required Findings – Use Permit: Pursuant to PMC section 18.16.040, in order to approve the Use Permit for the facility, the Zoning Administrator must find that the project:

- A. is in accord with the objective of the Zoning Ordinance, the purposes of the land use district in which it is located and is appropriate to the specific location;
- B. is not detrimental to the health, safety, and general welfare of the city;
- C. will not adversely affect the orderly development of property within the city;
- D. will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the city;
- E. is consistent with the objectives, policies, general land uses and programs specified in the general plan and applicable specific plan;
- F. will not create a nuisance or enforcement problem within the neighborhood;
- G. will not encourage marginal development within the neighborhood;
- H. will not create a demand for public services within the city beyond that of the ability of the city to meet in the light of taxation and spending restraints imposed by law;
- I. is consistent with the city's approved funding priorities; and,

- J. if located within the pedestrian commercial (CP) district, will support the goals of creating a vibrant, economically prosperous, visually interesting, and engaging pedestrian oriented atmosphere along the primary downtown corridor.

Required Findings – Design Review: Design review approval for the project can be granted by the Zoning Administrator only after making a determination that the proposed project is consistent with PMC section 18.36.220 (B), which is summarized below:

- A. the structures conform with good taste, good design and in general contribute to the character and image of the city as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality;
- B. the structures will be protected against exterior and interior noise, vibrations and other factors that may tend to make the environment less desirable;
- C. the exterior design and appearance of the structures are not of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value;
- D. the structures are in harmony with proposed developments on land in the general area; and
- E. the applications conform with the criteria set forth in any applicable city-adopted design guidelines.

A full analysis of how the proposed project meets the required Use Permit and Design Review findings is provided in the Resolution (Attachment 1).

Environmental: The proposed project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, "Existing Facilities," of the CEQA Guidelines, section 15301. The proposed project qualifies for a Class 1 categorical exemption because the project site is an existing, private structure and the applicant is not proposing any expansion of the existing structure. Therefore, the proposed project will not have a significant effect on the environment and is exempt from the provisions of CEQA.

If the proposed project is approved, Planning Staff will file a Notice of Exemption with the Governor's Office of Land Use and Climate Initiative (LCI) State Clearinghouse and Contra Costa County Clerk-Recorder's Office.

Public Notice: On or before September 27, 2024, a notice of the October 9, 2024, public hearing for the proposed project was posted at City Hall and at or near the project site; was delivered for posting at the Pittsburg Library; was posted on the "Public Notices" section of the city's website and was mailed via first class or electronic mail to the applicant, to the property owner, to all owners of property within 300 feet of the project

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site, to local service agencies expected to provide services to the business, and to individuals who had previously filed written request for such notice, in accordance with PMC section 18.14.010 and Government Code section 65091. In addition, a copy of the notice was posted on www.nextdoor.com ("Nextdoor") and was sent directly to all subscribed residents in the "Harbor and School Street" and "Downtown Pittsburg" neighborhoods.

See Attachment 5 for the Public Hearing Notice.

ANALYSIS:

Staff believes that the Zoning Administrator can make the required findings to grant an Administrative Use Permit and Design Review approval for the proposed project. The proposed project is consistent with the 2040 General Plan, in that the existing structure is for a for limited food processing, custom manufacturing and light industrial uses.

The proposed operations are required to follow stringent set of protocols and best management practices to minimize any impacts from odors on adjacent properties. Also, the proposed operations are fully contained within an existing commercial building and no outdoor commercial operation activities are permitted for this operation. Additionally, as a condition of approval no boiling or cooking or crabs or seafood is permitted. Therefore, it would not adversely affect the orderly development of the city or encourage marginal development in the area.

See Attachment 1 for a full analysis of how the proposed project meets the required Use Permit and Design Review findings.

ACTION REQUIRED:

Move to adopt a Resolution, approving Use Permit application No. 24-0085, subject to conditions.

ATTACHMENTS:

1. Proposed Resolution
2. Existing Conditions Photos
3. Surrounding Land Uses Map
4. Project Site and Floor Plans
5. Development Review Design Guidelines (DRDGS)
6. Public Hearing Notice/Vicinity Map
7. CCC Fire Conditions of Approval
8. Odor Management Plan dated October 9, 2024
9. Standard Conditions of Approval

Prepared by: Maurice Brenyah-Addow, Senior Planner

BEFORE THE ZONING ADMINISTRATOR OF THE CITY OF PITTSBURG

In the Matter of:

Granting Administrative Use Permit (AUP) and)
Design Review (DR) approval to establish a)
commercial seafood store and processing)
operation (Light Industrial use) and make minor)
exterior and site enhancements to existing)
commercial building located at 2685 E. Leland)
Road. AP-24-0085; APN: 088-152-017)

Resolution No.

The Zoning Administrator DOES RESOLVE as follows:

Section 1. Background

- A. On July 25, 2024, Wolfgang Croskey, on behalf of Fisherman’s Catch, filed Administrative Use Permit (AUP) and Design Review (DR) to establish a commercial seafood store and processing operation in the IL-O zone and make minor exterior and site enhancements to existing commercial building located at 2585 E. Leland Road. AP-24-0085; APN: 088-152-017.
- B. The proposed project is governed by the policies, development standards, and guidelines contained in the Pittsburg General Plan, Pittsburg Municipal Code (PMC) Title 18 (Zoning), the City of Pittsburg Development Review Design Guidelines (DRDG; Planning Commission Resolution No. 9864).
- C. On August 13, 2024, a Notice of Intent to conduct a Zoning Administrator hearing for this project was included on the Planning Commission agenda consistent with PMC section 18.10.050.
- D. Design review approval can be granted by the Zoning Administrator pursuant to PMC section 18.10.050 only after a determination is made that the proposed project is consistent with PMC section 18.36.200.
- E. This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) under Class 1, “Existing Facilities” of the state CEQA Guidelines section 15301.

Section 2. Findings

Use Permit: Pursuant to PMC section 18.16.040, in order to approve the Use Permit for the facility, the Zoning Administrator must find that the project:

- A. is in accord with the objective of the Zoning Ordinance, the purposes of the land use district in which it is located and is appropriate to the specific location in that the IL-O (Limited Industrial with Limited Overlay District) to allow for limited food processing, custom manufacturing and light industrial uses are consistent with the 2040 General Plan Land Use Map which changed the GP designation from Industrial to Employment Center Industrial (ECI);
- B. is not detrimental to the health, safety, and general welfare of the city, in that conditions of approval have been added to address all potential negative impacts;
- C. will not adversely affect the orderly development of property within the city, in that it does not modify the existing structure but rather involves improvements to the existing building in the form of new paint, signage and landscaping and other site improvements;
- D. will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the city, in that the conditions of approval addresses all potential negative impacts such as odor and trash disposal;
- E. is consistent with the objectives, policies, general land uses and programs specified in the general plan and applicable specific plan, in that custom manufacturing and light industrial uses are consistent with the 2040 General Plan Land Use Map which changed the General Plan designation from Industrial to Employment Center Industrial (ECI);
- F. will not create a nuisance or enforcement problem within the neighborhood, in that conditions of approval have been added to minimize negative impacts from the operations;
- G. will not encourage marginal development within the neighborhood, in that no expansion to the structure is involved. Exterior enhancements include new paint, parking lot restriping, new landscaping, new signage, and security cameras;
- H. will not create a demand for public services within the city beyond that of the ability of the city to meet in the light of taxation and spending restraints imposed by law, in that the light food processing and grocery store are not typically known to demand extra public services;
- I. is consistent with the city's approved funding priorities, in that the project is a privately funded enterprise; and,
- J. if located within the pedestrian commercial (CP) district, will support the goals of creating a vibrant, economically prosperous, visually interesting, and engaging pedestrian oriented atmosphere along the primary downtown corridor, in that the site is not located in the CP district.

Design Review

- A. Based on all the information contained in the Planning Division files on this project, incorporated herein by reference and available for review in the Planning Division located at 65 Civic Avenue in Pittsburg, and based on application materials presented to the Zoning Administrator for review, the Zoning Administrator finds that:
1. All recitals above are true and correct and are incorporated herein by reference.
 2. In accordance with the requirements of PMC 18.36.220(B), the proposed improvements:
 - a. Will conform with good taste, good design and in general contribute to the character and image of the City as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality, in that the new establishment will occupy a currently vacant commercial building that is currently experiencing break-ins and blight issues. The new color scheme and new landscaping will enhance the appearance of the building by providing an attractive, refreshed exterior.
 - b. Will be protected against exterior and interior noise, vibrations and other factors that may tend to make the environment less desirable, in that the proposed new use is not expected to generate any significant exterior and interior noise, vibrations and other factors that may tend to make the environment less desirable.
 - c. Will have an exterior design and appearance that will not be of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value, in that the proposed project will improve and enhance an existing commercial property.
 - d. Will be in harmony with proposed developments on land in the general area, in that the exterior paint colors, landscaping and site improvements will coordinate with and compliment the surrounding buildings and neighboring developments.
 - e. Generally conform with the City's Development Review and Design Guidelines (DRDG); Planning Commission Resolution No. 9864 section IV.p in that the exterior paint color palate will be compatible with the rest of the existing building.

Section 3. Decision

- A. Based on the findings set forth above, the Zoning Administrator hereby approves Design Review Application No. AP-24-0085, subject to the following conditions:

1. Conformity with Project Plans. The proposed commercial seafood store and processing operation and minor exterior and site enhancements to existing commercial building located at 2585 East Leland Road shall be constructed in substantial conformance with the project plans received by City Staff, and attached to this resolution as Exhibit A, except as may be hereinafter modified.
2. Operation of the approved uses in a manner inconsistent with this approval by the Zoning Administrator shall be grounds for revocation pursuant to PMC Section 18.28.
3. Hours of Operation. The hours of operation for the approved uses shall limited daily to 6:00 AM to 9:00 PM during busy seasons from December to February. In the off-season, operations will adjust to 6am-6pm.
4. An administrative use permit amendment shall be required prior to operation outside these hours.
5. Exterior Materials and Finishes. The exterior materials and finishes of the proposed structure shall be kept in a good state of repair and the exterior finish shall remain clean and well maintained.
6. Site Maintenance. The site shall be kept clean and free of all litter, debris, and refuse. The facility shall be maintained in a good condition at all times, including but not limited to accompanying equipment and fixtures.
7. Landscaping. The project shall install landscaping and irrigation as per the approved project plans. The landscape areas shall be maintained so as to remain in a healthy, thriving and weed free condition. Any dead or unhealthy plants shall be replaced with a similar species.
8. Signage. This resolution does not approve business or advertising signage. No permanent business signs or temporary, promotional, or event signs and banners may be placed on the site prior to application, review, and approval for a sign permit by the Planning Division.
9. Security Cameras. The applicant shall install security cameras around the site and shall cooperate with the Pittsburg Police Department to: a) install the cameras on-site and in the building in a quantity and at locations that optimize the safety of customers and employees on the property; and b) ensure that the Pittsburg Police Department establishes and is provided continuous access to live and recorded feed from the security cameras installed on-site.
10. Graffiti Removal: All graffiti shall be removed on any part of the property within 48 hours of its appearance.

Special Conditions

11. This approval only permits, cleaning, packing, storage and sales of seafood. No onsite cooking or boiling of seafood shall be permitted. All cooking shall occur off site as indicated in the odor management plan.
12. All organic waste from the operations shall be disposed of on a daily basis as per the waste disposal plan dated October 9, 2024. This waste disposal plan attached as (Attachment 8) dated October 9, 2024, shall be referenced and incorporated into the daily waste procedures for this project. The Community and Economic Development Department staff reserves the right to enforce these conditions pursuant to PMC Section 18.90 Compliance and Penalties. Only inorganic waste is permitted to be stored at the existing trash enclosure.
13. The proposed odor management plan (Attachment 8) dated October 9, 2024, shall be strictly adhered to and a copy shall be posted prominently within the facility for all worker and employees to review. The Community and Economic Development Department staff reserve the right to enforce these conditions pursuant to PMC Section 18.90 Compliance and Penalties.
14. Delivery shall only occur between the hours of 7:00 AM and 7:00 PM on weekdays. Delivery trucks shall be pre-instructed to avoid driving over the median located on East Leland Road
15. Sewer Lateral: The upper and lower 4" lateral sewer lines appear unsized for the type of facility. Upon verification by the Pittsburg Public Works Department, a six-inch lower and upper lateral pipe may be required. The facility may also need installation of a grease interceptor if determined as needed by the Pittsburg Public Works Department prior to commencement of operations.
16. Outdoor Dining Permits. Outdoor dining is not approved with this resolution. The applicant or business operators shall submit proposed outdoor furniture as part of separate outdoor dining permit applications for each business, which shall be subject to review and approval by the Community and Economic Development Department prior to installation and use.
17. Loitering. The business operator shall ensure that there is no loitering on the sidewalks, rear or side yards, or streets surrounding the business tenant space, or within the nearby parking lots, during operating hours and within one (1) hour of business closing. If the business operator observes loitering, the Pittsburg Police Department shall be notified immediately.
18. Peace and Order. The business operator shall be responsible for maintaining the peace and order on the premises. All necessary steps shall be taken to ensure that the customers refrain from incidents of violence that adversely impact the safety of the community. Should the business operator fail to control loitering, noise, public disturbances or incidents of violence, and in the event that the business necessitates an increased police presence, the Chief of Police may require the business owners to provide additional public safety measures, including but not limited to, video cameras,

additional exterior lighting, hiring licensed and bonded security guards approved by the Police Department, or such other measures as determined necessary by the Chief of Police. Any such required additional measures shall be at the business owner's/operator's sole expense.

19. Site Maintenance. The site and adjacent street and sidewalk shall be kept clean and free of all litter, debris, and refuse that may be generated from the operation of the business, at all times.
20. Waste: The business operator shall ensure that his/her employees bag and seal food/drink waste prior to placing it in the organic waste bins.
21. Tallow Bins. The business operator shall ensure that all tallow bin lids are inside the building, kept closed, and that they are maintained inside so as to avoid spillage, leaking, and/or overflowing.
22. Dry Clean-up Methods. The business operator shall practice dry clean-up methods for outdoor sidewalk and patio surface areas, in accordance with the guidelines established by the Bay Area Stormwater Management Agencies Association (BASMAA).
23. Disposal of Liquids. The business operator shall ensure that employees collect and dispose of water and cleaning liquids to the sanitary sewer, not the exterior storm drain inlets/catch basins.
24. Floor Mat Cleaning. The business owner shall not allow floor mats to be cleaned or rinsed outdoors.
25. Detergents and Degreasers. The business operator shall ensure that detergents and degreasers are never used in the process of outdoor cleaning.
26. Parking and Maneuvering. All outside parking stalls, maneuvering aisles, and designated parking areas shall be restriped and include all appropriate signage as required under the California Building Code (CBC).
27. Bicycle Parking. The project applicant shall install a minimum of 4 bicycle parking stalls as required by PMC Section 18.78.045 for the proposed project.

Building Services Conditions

28. On the cover sheet, please indicate the building Design Codes applicable to this project. The City of Pittsburg has adopted and enforces the following building Design Codes: 2022 California Administrative Code (CAC), 2022 California Building (CBC), 2022 California Historical Building Code (CHBC), 2022 California Existing Building Code (CEBC), 2022 California Green Building Standards Code (CGBSC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022

California Electrical Code (CEC), 2022 California Energy Code (CEC Part 6), 2022 California Fire Code and the Pittsburg Municipal Code (RMC). Reference CRC Sec. R106.

29. On the cover sheet, please verify the Drawing Index includes all plan sheets. And design criteria. Reference CRC section R106
30. The preparation of plans and documents shall be prepared by a registered design professional where required per statutes of the City of Pittsburg where the project is being built. The licensed architect or engineer shall affix a stamp to the plans as evidence of the person's responsibility for the documents. Licensed Mechanical, Plumbing and Electrical Contractors may design the systems that they are to install. On plans not required to have a design professional and are designed by a plans designer shall sign every sheet.
31. The Site Plan shall show the size and location of the new construction and existing structures on the site and distances from lot lines and other structures, and include where the residence ties into sewer, power and water from the street.
32. All supporting documents are included but are not limited to, truss plans and calculations with a letter of approval for the trusses by the EOR. Energy calculations and all other pertinent information for this project.

Standard Conditions

33. Standard Conditions of Development. The Standard Conditions of Development as adopted by the Pittsburg Planning Commission by Resolution No. 8931 (See Attachment 9 of Staff Report) shall apply as conditions of approval for this project as applicable. Where there is a conflict between this resolution and the Standard Conditions of Development, this resolution shall govern.
34. Indemnification. Applicant agrees to indemnify, defend, and hold harmless the City, its officials, officers, employees, agents and consultants from any and all administrative, legal or equitable actions or other proceedings instituted by any person challenging the validity of this project approval, subsequent project approval, or other action arising out of, or in connection with, this project approval. The parties shall cooperate in defending such action or proceeding. The parties shall use reasonable efforts to select mutually agreeable defense counsel but, if the parties cannot reach agreement, City may select its own legal counsel at applicant's sole cost and expense. Applicant may select its own legal counsel to represent applicant's interests at applicant's sole cost and expense. Applicant shall pay for City's costs of defense, whether directly or by timely reimbursement to City on a monthly basis. Such costs shall include, but not be limited to, all court costs and attorneys' fees expended by City in defense of any such action or other proceeding, plus staff and City Attorney time spent responding to and defending the claim, action or proceeding.

35. Other Agency Requirements. The applicant shall comply with all of the requirements of the Community and Economic Development Department (including the Planning, Engineering and Building Divisions), and external; agencies including Contra Costa County Fire Protection District, and all applicable local, state, and federal agencies (See attached conditions of approval from CCCFPD, DTSC and CCHS) (See Attachments). It is the responsibility of the applicant to contact each local, state, or federal agency for requirements that may pertain to this project.
36. Expiration of Approval. This approval will expire on October 9, 2025, unless the improvements noted herein are diligently pursued to completion, or unless a written request for extension is filed with the Planning Division prior to the expiration date and is subsequently approved by the Zoning Administrator.

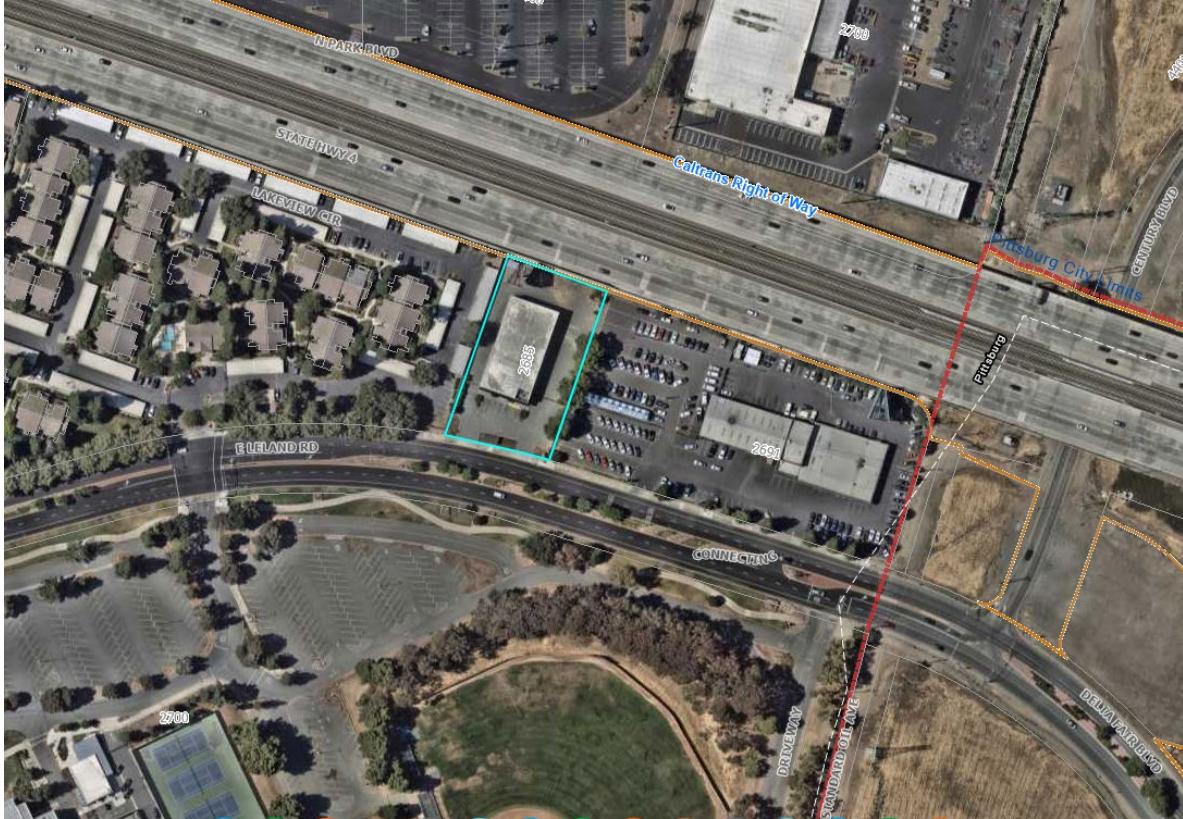
Section 4. Effective Date

This resolution shall take effect immediately upon adoption of this resolution.

The foregoing resolution was passed and adopted the 9th day of October 2024, by the Zoning Administrator of the City of Pittsburg, California.

JOHN L. FUNDERBURG III
ZONING ADMINISTRATOR

ATTACHMENT 2 – Existing Conditions Photos



Aerial view of subject site and adjacent properties



Street view of subject site

ATTACHMENT 2 – Existing Conditions Photos



Partial view looking northwest towards adjacent apartment complex



Partial view looking northeast towards adjacent car dealership

ATTACHMENT 2 – Existing Conditions Photos



View across the street looking southwest at Los Medanos Community College campus



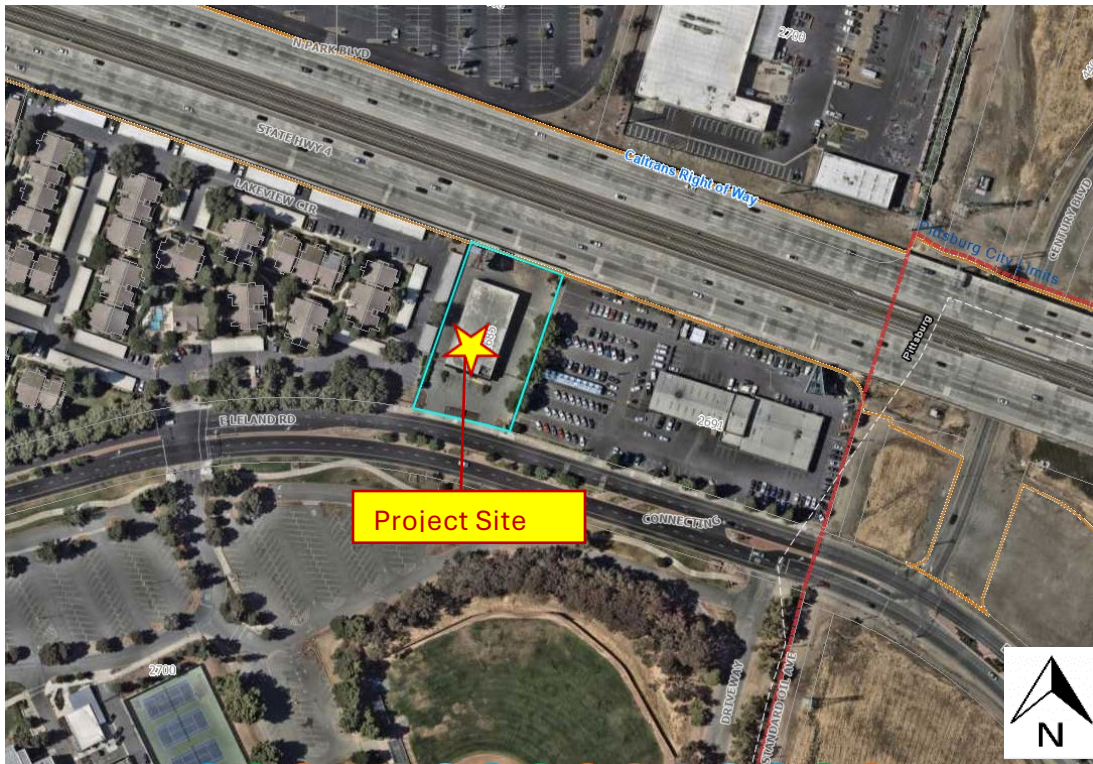
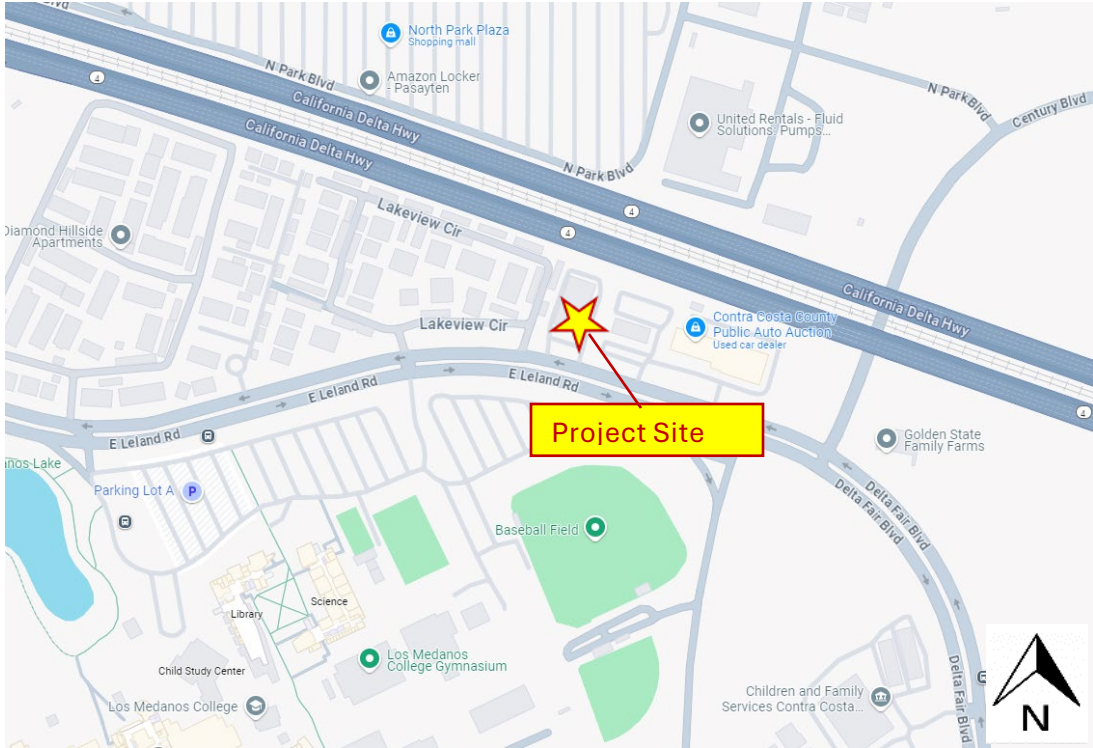
East side of subject site showing maneuvering aisle and parking areas

ATTACHMENT 2 – Existing Conditions Photos

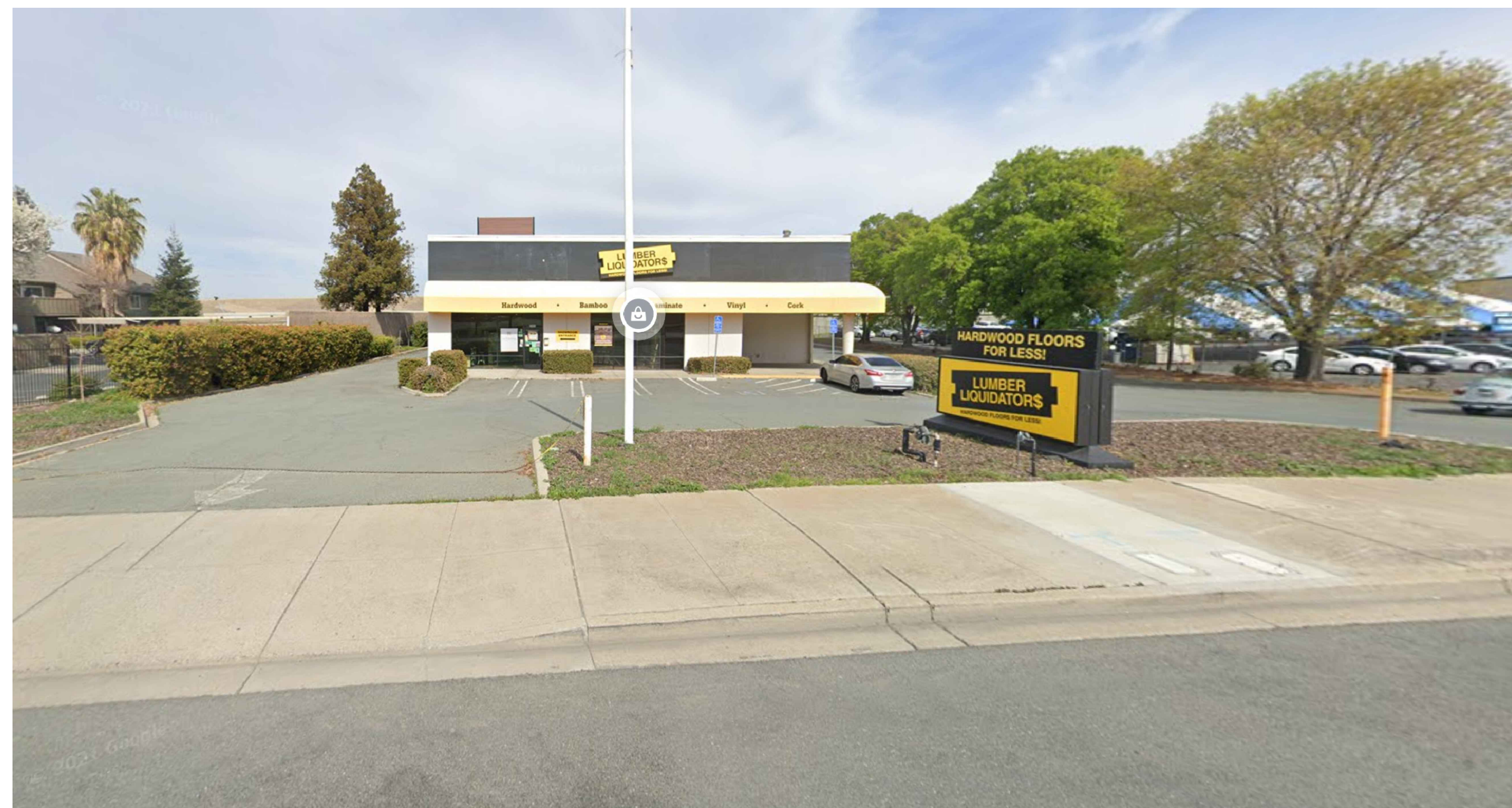


West side of subject site showing driveway exit, maneuvering aisle and parking areas

ATTACHMENT 3 - Surrounding Land Uses map



FRONT ELEVATIONS (BUSINESS STORE)



GENERAL NOTES

- TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE INSTALLATION AS DETAILED HEREIN. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND IS RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK
- 2. STORAGE THE CONTRACTOR SHALL PROVIDE ON-SITE WEATHER PROTECTED STORAGE
- 3. CODES :ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION
THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION
- 4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS BASED ON THE CONTRACT AGREEMENT WITH OWNER
- 5. QUALITY WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED TO BE OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- 6. COORDINATION OF THE WORK THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE THEIR CONTRACT INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES
- 7. MECHANICAL TRADES: THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THE WORK BY THE TIME THE OTHER TRADES HAVE FINISHED
- 8. EXAMINATION OF SITE AND DOCUMENTS: THE CONTRACTOR BEFORE SUBMITTING HIS PROPOSAL SHALL VISIT THE SITE AN EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH AFFECT THE CONTRACT.
- 9. SEPARATE CONTRACTS THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK
- 10. GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER
- 11. TRASH REMOVAL EACH CONTRACTOR SHALL PROVIDE TRASH REMOVAL AT THE END OF EACH DAY, EACH CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ANDIOR WITHIN THE BUILDING AREA CONSTRUCTION AREA SHOULD BE SWEEP CLEAN IF TRASH AND DEBRIS ARE NOT REMOVED THE OWNER MAY AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR.
- 12. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
- 13. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES HANGERS ETC.
- 14. GENERAL CONDITIONS THE GENERAL CONDITIONS FOR THE CONTRACT SHALL BE AIA 201 2016 EDITION. EXCEPT AS HEREIN AMENDED.
- 15. ALL SECTIONS DETAILS, MATERIALS, METHODS, ETC. SHOWN ANDIOR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- 16. THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL
- 17. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- 18. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW OR INDICATE ALL FASTENING OR FRAMING TECHNIQUES ANDIOR DEVICES, OR TO SHOW ALL CONDITIONS PRESENT.
- 19. BEFORE COMMENCING WORK THE GENERAL CONTRACTOR WILL MEET WITH THE OWNER TO LOCATE STAGING AREA
- 20. ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS WALLS AND FLOORS SHALL BE CLASS 2 WITH A FLAME SPREAD RATING OF 26 TO 75.
- 21. UNLESS OTHERWISE NOTED ALL FRAMING AND FINISH LUMBER ARE SIZED IN NOMINAL DIMENSIONS.
- 22. GENERAL CONTRACTOR TO PROVIDE ALL MEANS TO SECURE AND PROTECT CONSTRUCTION AREA FROM THE PUBLIC.
- 24. PROVIDE HAND HELD FIRE EXTINGUISHERS ACCORDING TO LOCAL FIRE MARSHALL REQUIREMENTS - MIN. 5 # ABC- LOCATE AS REQUIRE BY THE FIRE MARSHALL

FISHERMEN'S CATCH
2685 EAST LELAND ROAD
PITTSBURG, CA 94565

INDEX TO DRAWINGS

A0	COVER
A1	EXISTING SITE PLAN; ADA PARKING DETAILS
A2	EXISTING AND PROPOSED FLOOR PLANS; EXISTING EQUIPMENT SCHEDULE.
A3	PROPOSED OCCUPANT LOAD CALCULATION; EXISTING ROOF PLAN
A4	FLOOR PLAN NOTES & DETAILS
A5	ADA DETAILS
A6	ADA DETAILS
A7	ADA AND PLUMBING DETAILS
E1	EXISTING & PROPOSED LIGHTING PLAN, NOTES, AND LEGENDS
E2	(N) ELECTRICAL PLAN- MAIN; (N) ELECTRICAL PLAN- ROOF; ELECTRICAL EQUIPMENT SCHEDULE
E3	PANEL & LOAD SCHEDULES; SINGLE LINE DIAGRAM
P1	PROPOSED PLUMBING PLAN
P2	PROPOSED PLUMBING PLAN
S1	STANDARD DETAILS
T(1)	TITLE-24 LIGHTING REPORT
T(2)	TITLE-24 LIGHTING REPORT

PLANNING & BUILDING DATA

BUSINESS NAME FISHERMEN'S CATCH
A.P.N: 088-152-017-5
BUILDING AREA : 8,074 SF
TENANT IMPROVED AREA : 8,074 SF
BUILDING TYPE : VB
STORIES : 1
OCCUPANCY : M
FIRE SPRINKLER: NO
NUMBER OF EMPLOYEE = 6

SCOPE OF WORK

TENANT IMPROVEMENT FOR FISHERMEN 'S CATCH STORE AS SHOWN ON PROPOSED PLAN

DEFERRED SUBMITTAL

- WALK-IN FREEZER UNDER SEPARATE SUBMITTAL BY OTHER.
- ALL DEFERRED SUBMITTED PLAN SHALL BE APPROVED BY CITY OFFICAL PRIOR TO THE INSTALLATION.

CODE INFORMATION

CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA HEALTH & SAFETY CODE
2022 CITY OF PITTSBURG MUNICIPAL CODE

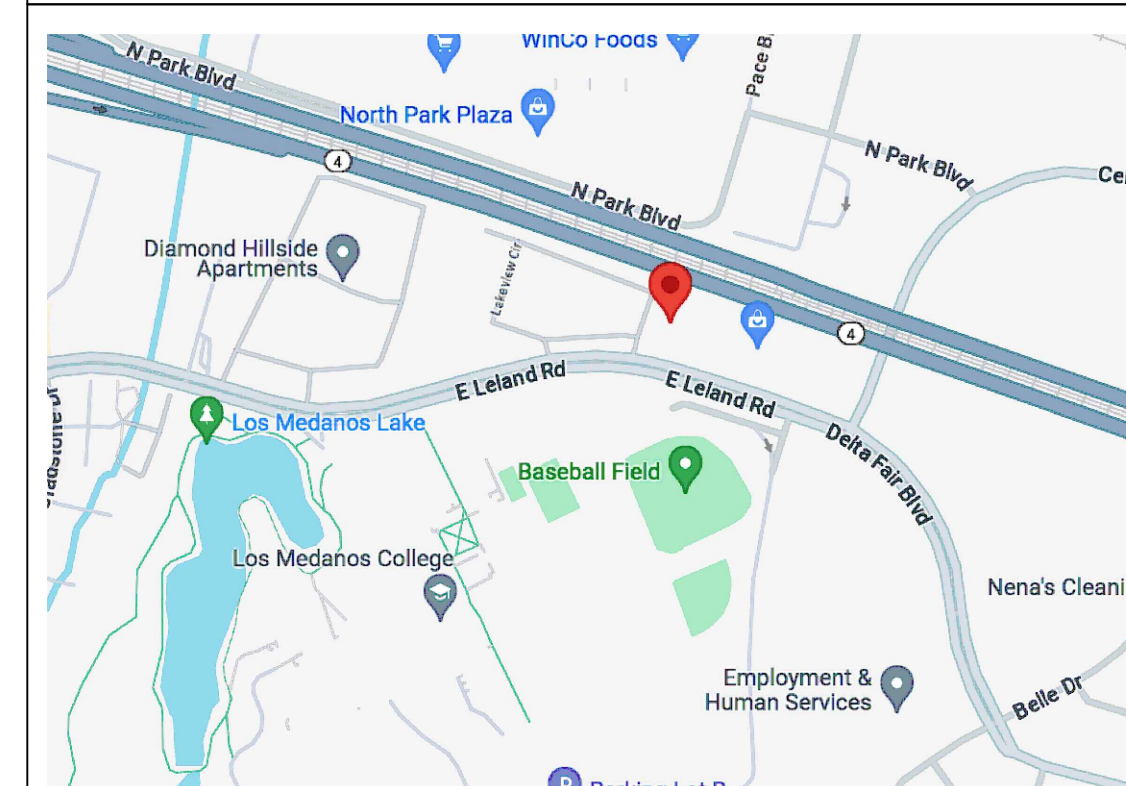
CONSULTANTS

DESIGNER: KEN NGUYEN
730 GIRARD ST
SAN FRANCISCO, CA 94134
PH: (415) 699-5886

OWNER INFORMATION

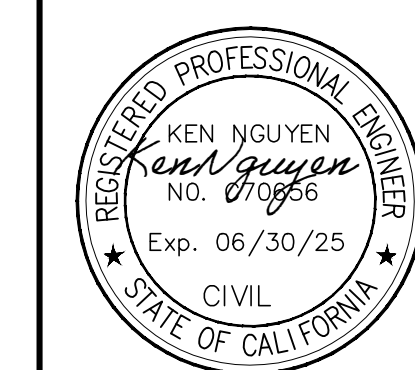
NAME : Peter Nguyen
ADDRESS: 1951 Windward PT, Discovery Bay, CA 94505
PHONE: (415) 798-8889

VICINITY MAP



FISHERMEN 'S CATCH
2685 EAST LELAND ROAD
PITTSBURG , CA 94565

DESIGNER
KEN NGUYEN
730 GIRARD ST
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P. 415. 699.5886

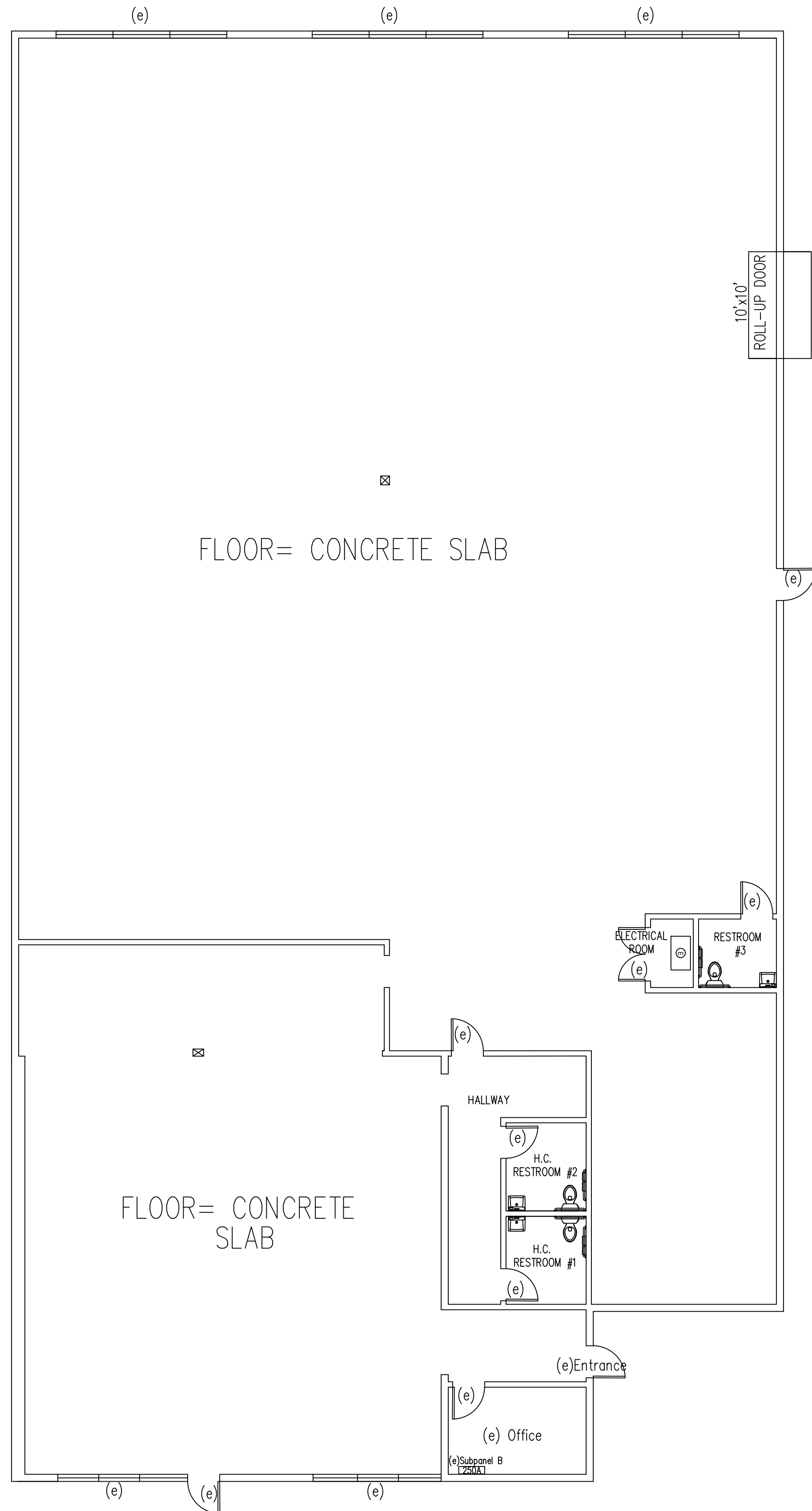


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Date: 06.24.24
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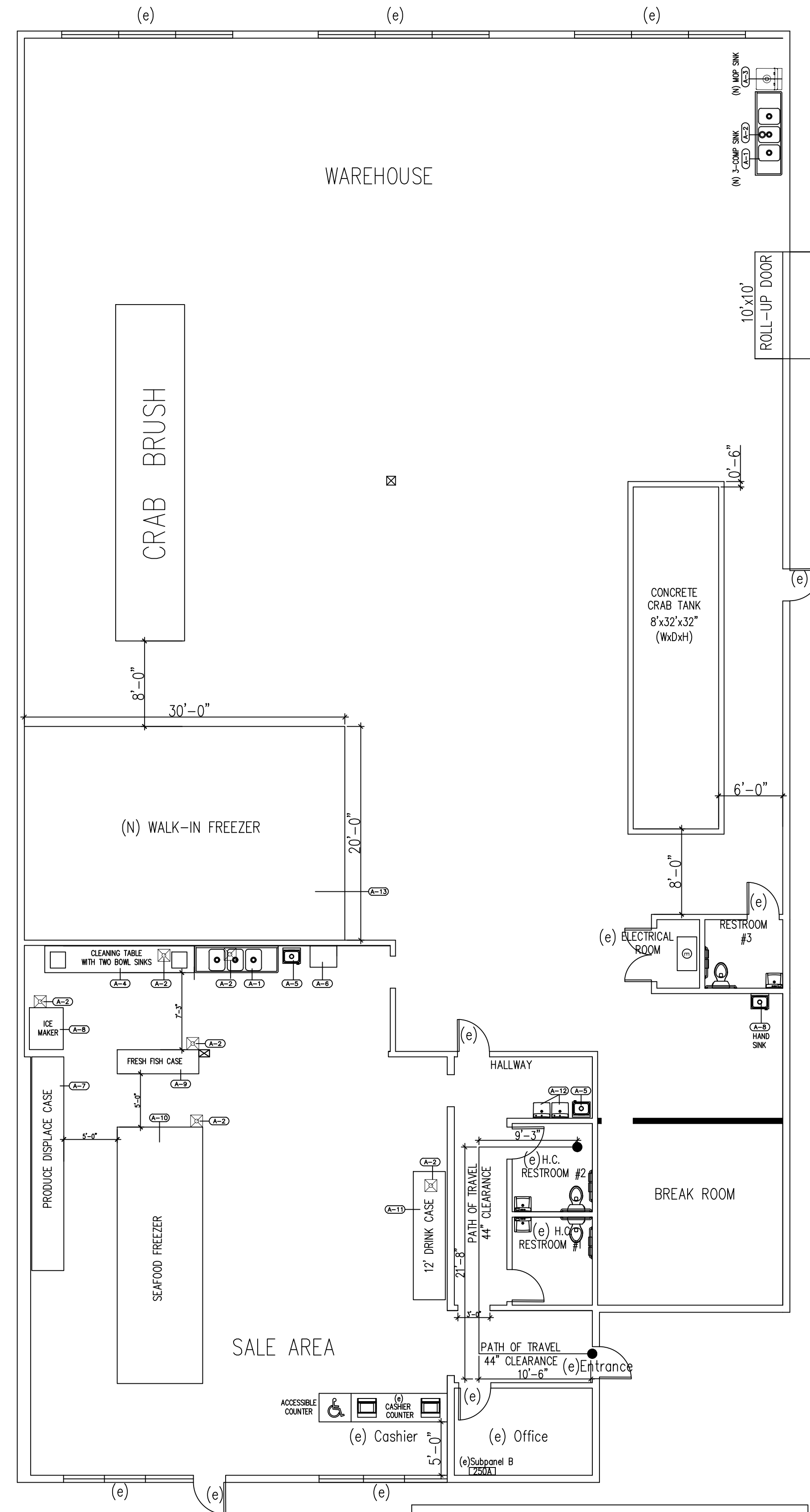
SHEET TITLE:
COVER
PLANNING DATA

SHEET NO.
A0



EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

EQUIPMENT SCHEDULE					
IDENTIFIER NO	NUMBER OF UNIT	UNIT DESCRIPTION	D X W X H	MODEL NUMBER	POWER
A-1	2	3-Compartment Sink	30"x8"x36"	Regency #60031620186	
A-2	7	Floor Sink			
A-3	1	Mop Sink			
A-4	1	Cleaning Table With Two Bowl Sinks At End	30"x168"x36"	142-8793 14	
A-5	3	Hand Sink Wall Mount With Backsplash	18"x18"x30"	Regency # 600498E1818	
A-6	1	Live Fish Tank	30"x		
A-7	1	Produce Display Case	44 3/8"x12"x68 1/4"	Husmann ICJSL_012517	120V/60/1Ø; 1.42A; 105W
A-8	1	Hoshizaki Ice Machine	4'x3'	F-200WH13	208-230/60/1Ø; 400W
A-9	1	Fresh Fish Case	4'x12'x5'	Husmann SF-13-REM	115V/60/1Ø; 16A
A-10	1	Sea Food Freezer	8'x2'x24"	OMEV - Serial No. 184499	120V/60/1Ø; 0.440A
A-11	1	True Refrigeration - Drink Case	29 5/8"x18 1/8"x58 5/8"	115V/60/1Ø; 7.3A; 1/2HP	
A-12	2	Existing Water Fountain			
A-13	1	Walk-in Cooler (DEFERRED UNDER SEPARATE PERMIT)		CUSTOM ORDER	120V/60/1Ø; 5A
A-14	1	ELECTRICAL WATER HEATER		SR-20, 208-P	208V/60/1Ø; 4.150W; 20A
A-15	1	EXISTING AC UNIT		RH690HCADAAA	208V/230V/60/3Ø; 45A

FISHERMEN 'S CATCH

2685 EAST LELAND ROAD
PITTSBURG , CA 94565

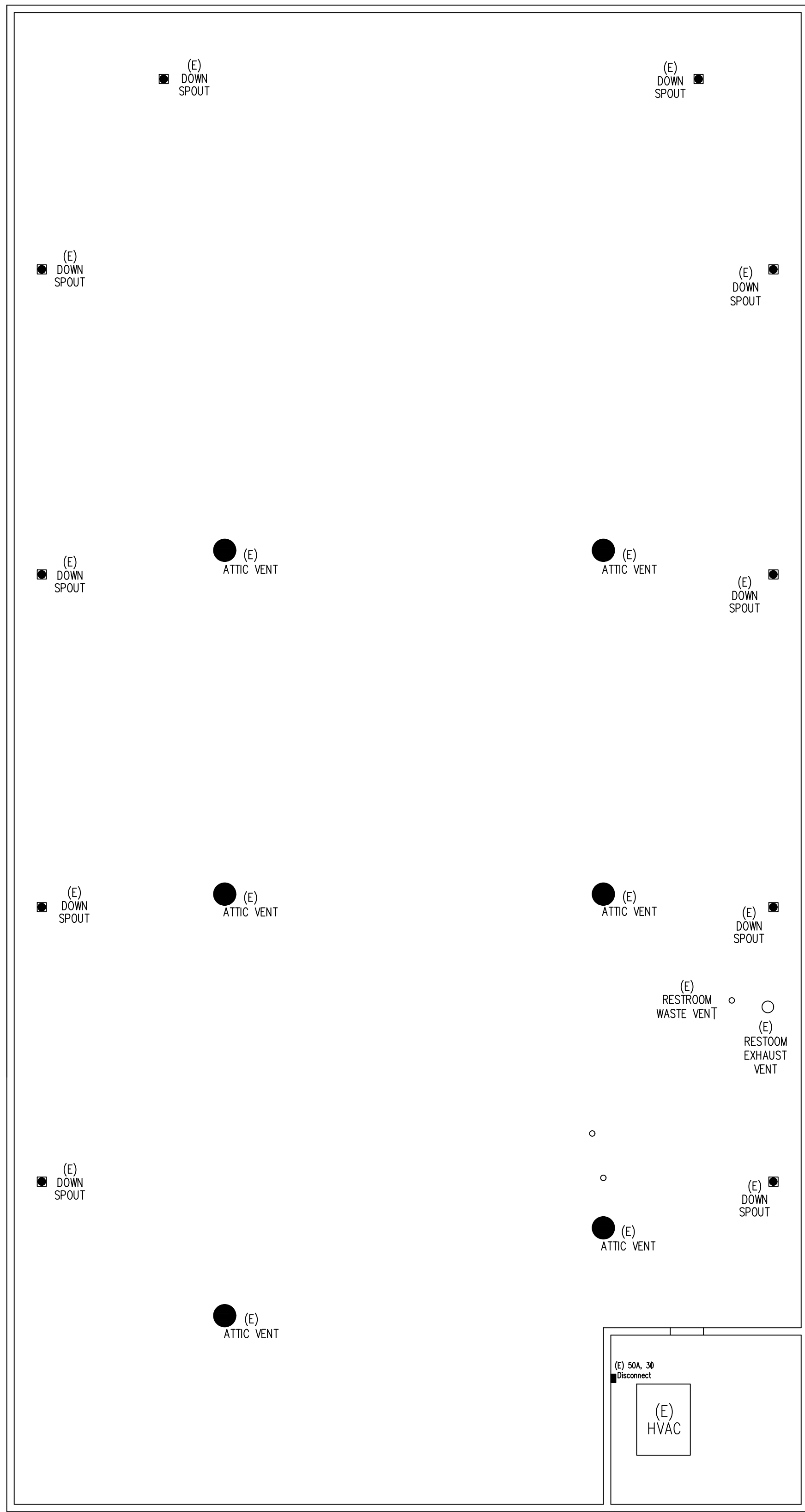
KEN NGUYEN
730 GRAND ST
SAN FRANCISCO, CA 94134
P. 415. 699.5886

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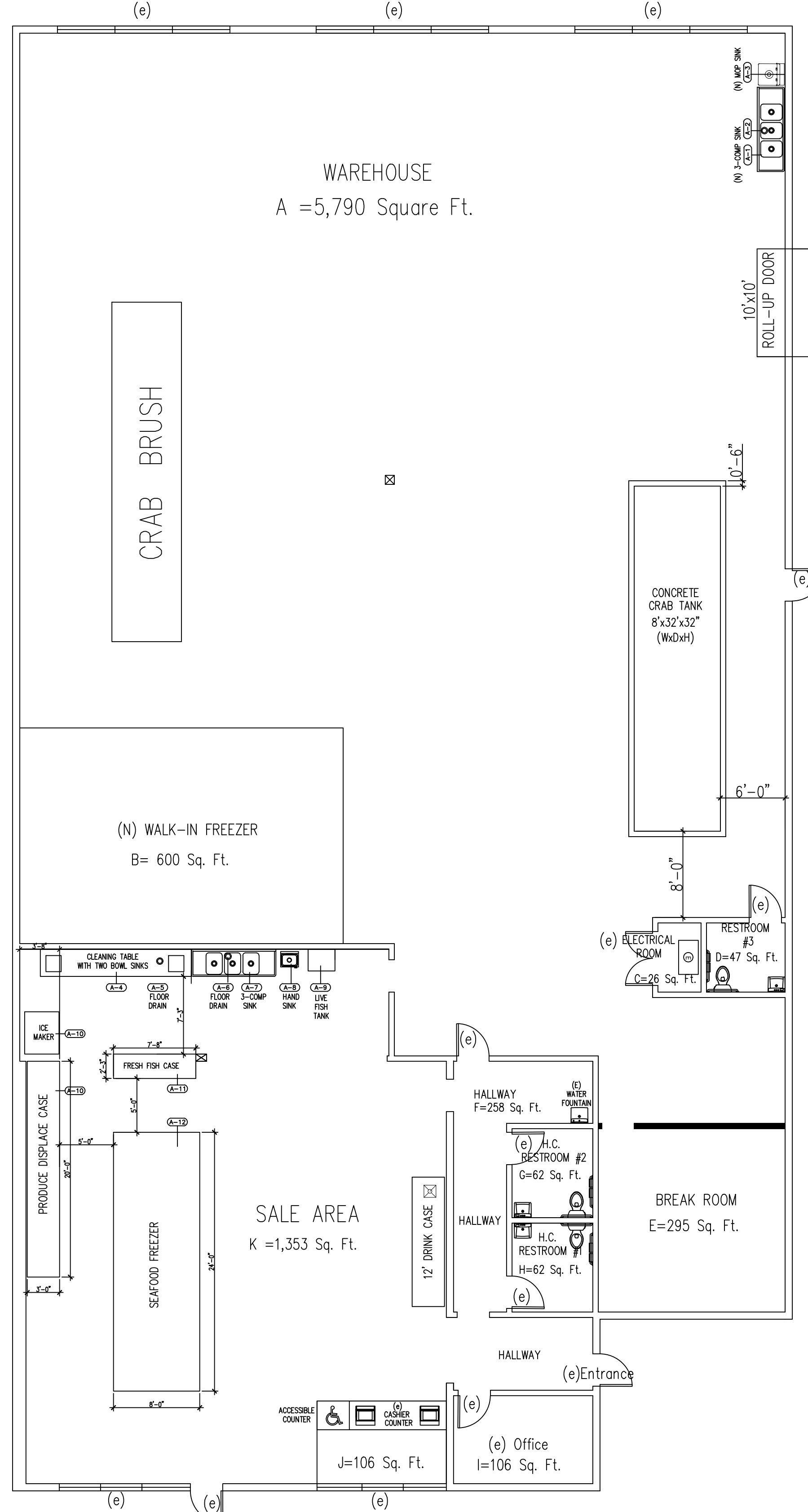
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 EXISTING AND PROPOSED
 FLOOR PLANS;
 EQUIPMENT SCHEDULE

SHEET NO.
A2



EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"



PROPOSED OCCUPANCY LOAD CALCULATION

SCALE: 1/8" = 1'-0"

CODE SUMMARY

NUMBER OF OCCUPANTS (SEE SHEET 3.1 FOR CALC.)	35
MINIMUM EXIT SEPARATION	N/A
MINIMUM # OF EXITS REQUIRED	2
MAX. ALLOWED LENGTH OF COMMON PATH OF EGRESS	100 FEET
ACTUAL MAX. LENGTH PATH OF EXIT ACCESS	63'-9"

- Contractor to verify field dimensions, conditions, etc. and bring any discrepancies to client's attention prior to starting any construction for pre-construction meeting.
- All dimensions are to face of studs.

AREA	AREA (SQ. FT.)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
A (WAREHOUSE)	5,159	100	61
B (WALK-IN FREEZER)	600	100	1
C (UTILITY ROOM)	26	100	1
D (RESTROOM)	47	100	1
E (BREAKROOM)	295	100	3
F (HALLWAY)	258	100	3
G (A.C. RESTROOM #2)	62	100	1
H (A.C. RESTROOM #1)	62	100	1
I (OFFICE)	106	100	2
J (CASHIER AREA)	106	100	2
K (SALE AREA)	1,353	100	14
TOTAL OCCUPANT LOAD			95

* USING NUMBER OF EMPLOYEES INSTEAD OF AREA.
NUMBER OF EMPLOYEES = 6

PITTSBURG, CA 94565

FISHERMEN'S CATCH

2685 EAST LELAND ROAD

DESIGNER

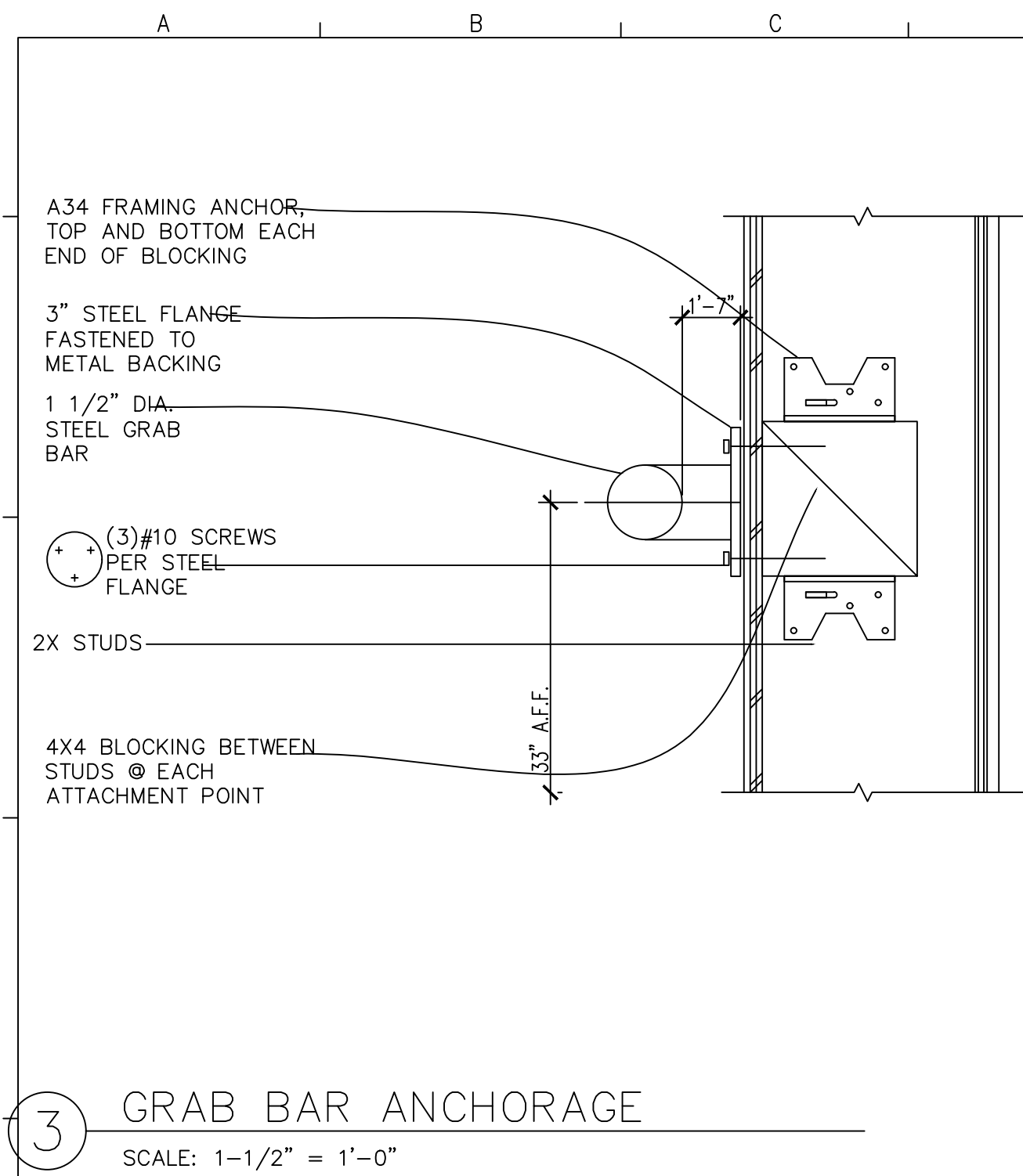
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SAN FRANCISCO, CA 94134
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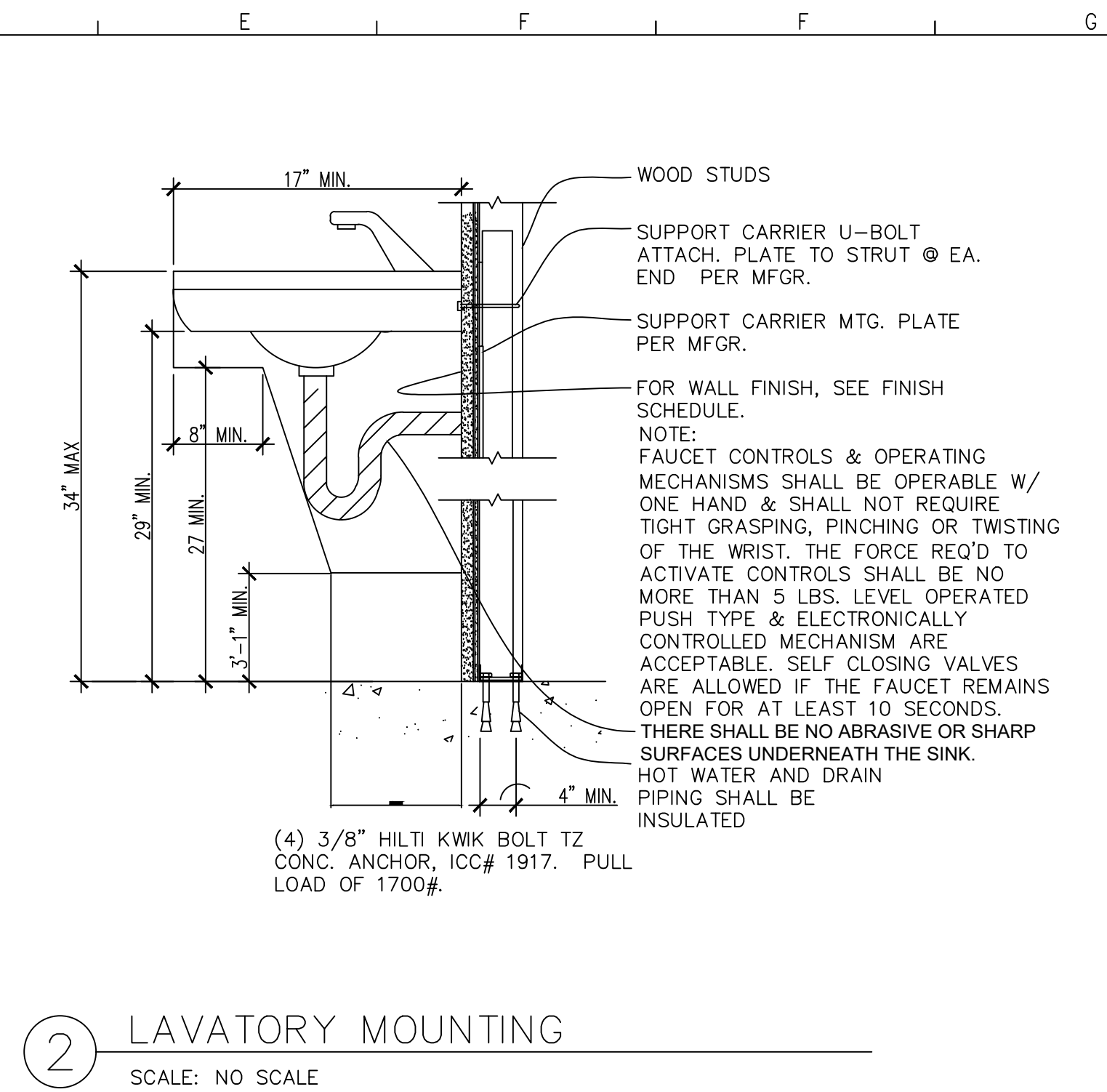
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 Job: 06.24.24
 Date: 06.24.24
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 LOAD CALCULATION
 EXISTING ROOF PLAN

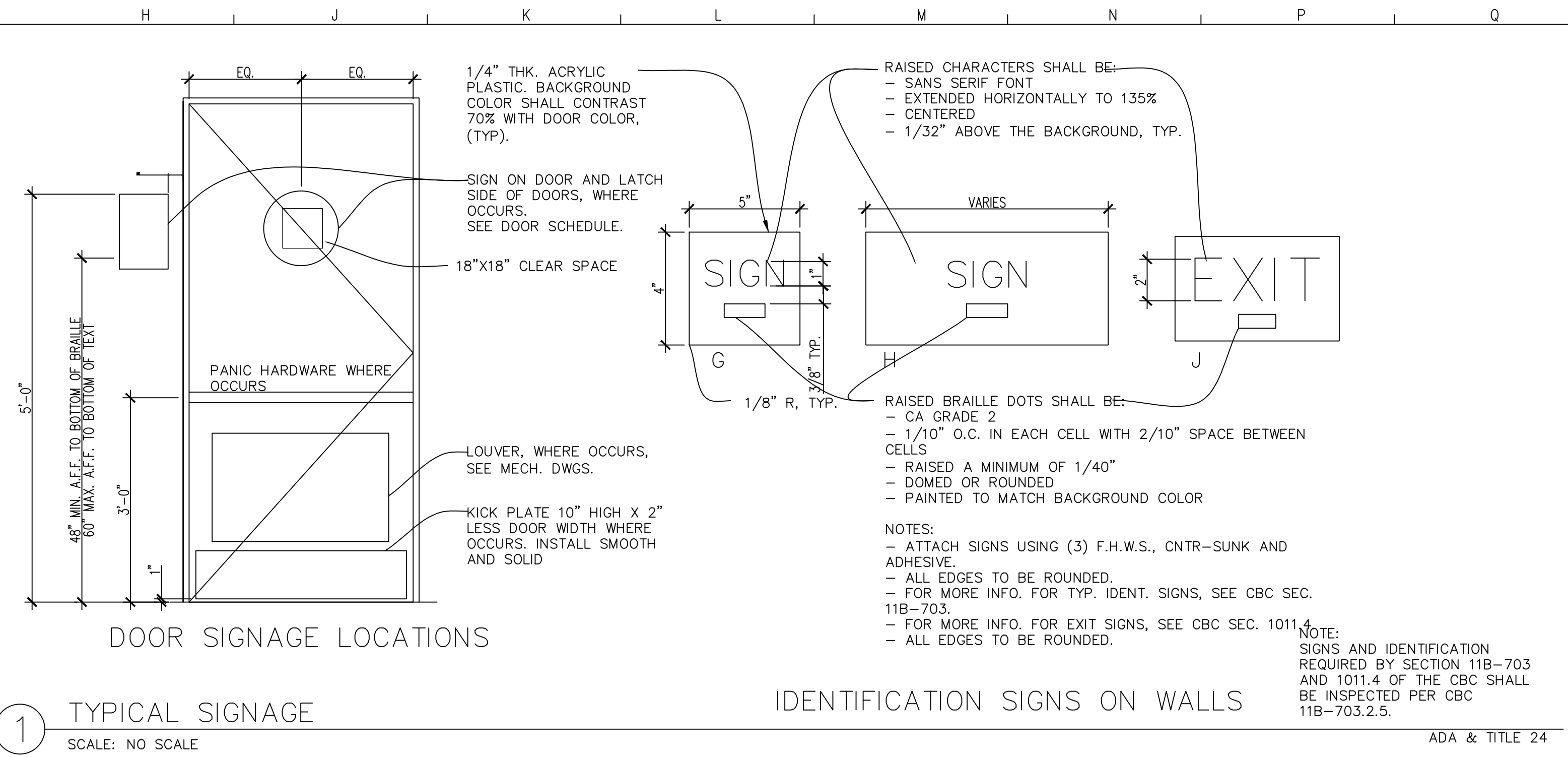
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A3



3 GRAB BAR ANCHORAGE
SCALE: 1-1/2" = 1'-0"



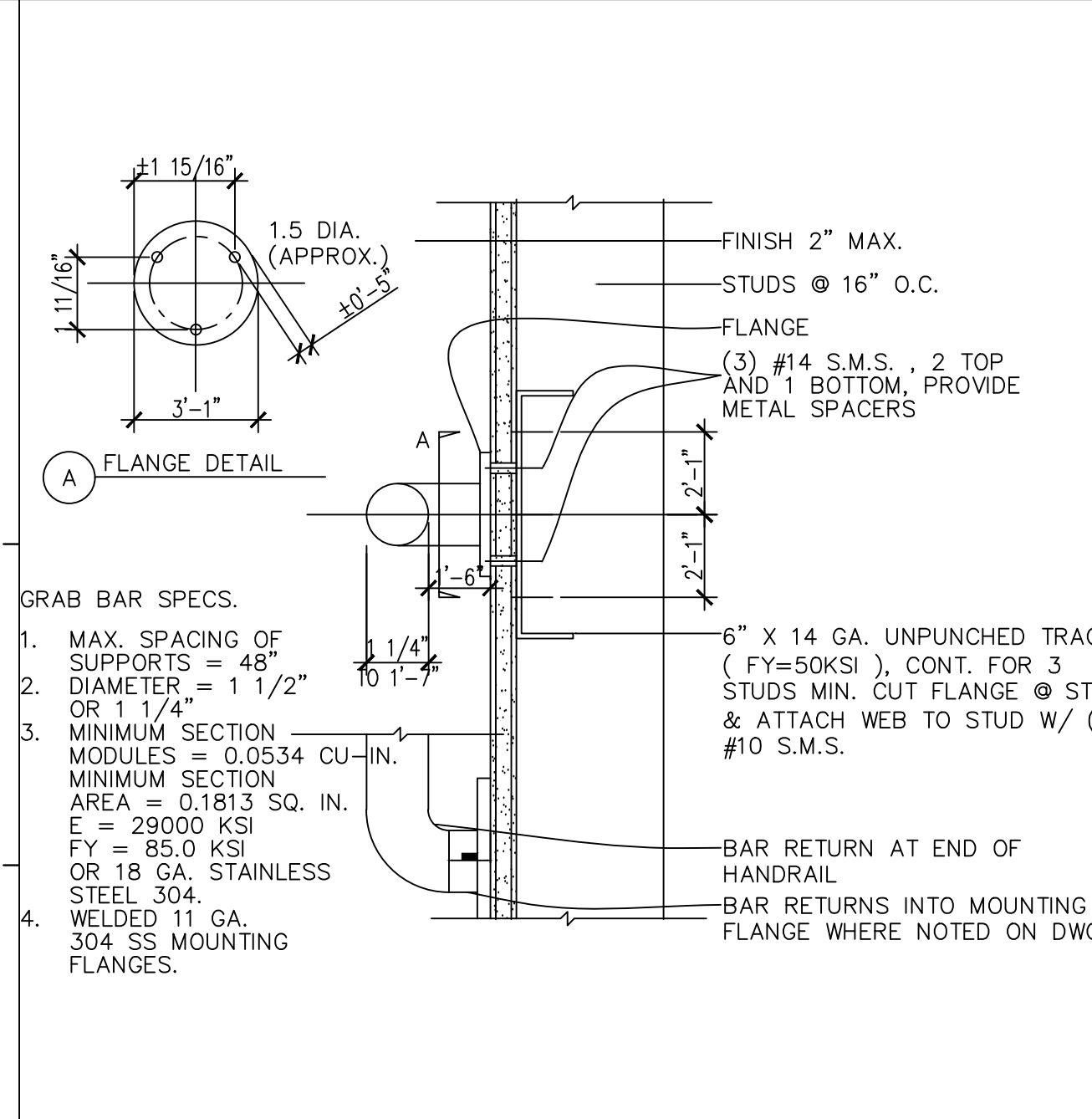
2 LAVATORY MOUNTING
SCALE: NO SCALE



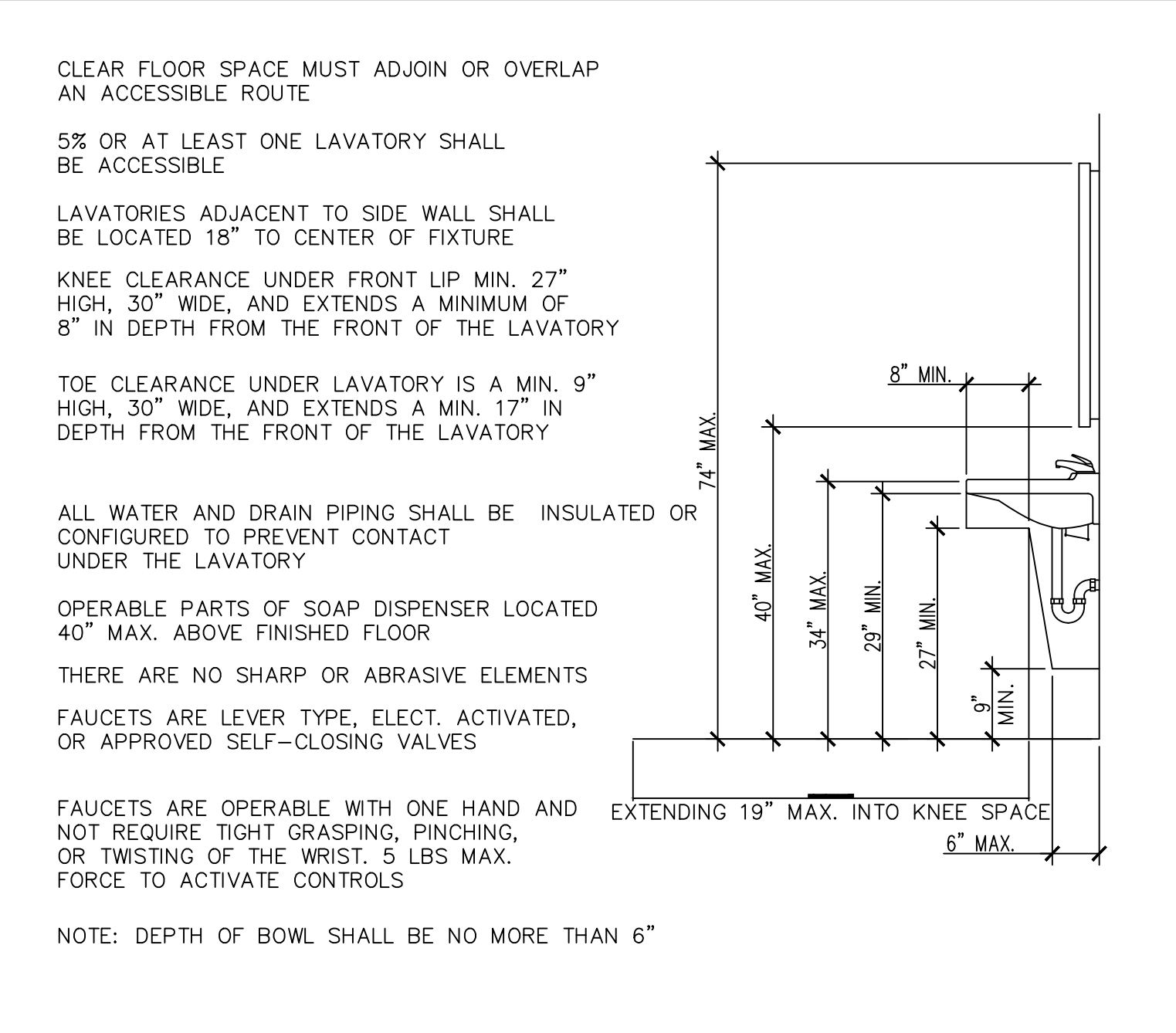
1 TYPICAL SIGNAGE
SCALE: NO SCALE

IDENTIFICATION SIGNS ON WALLS

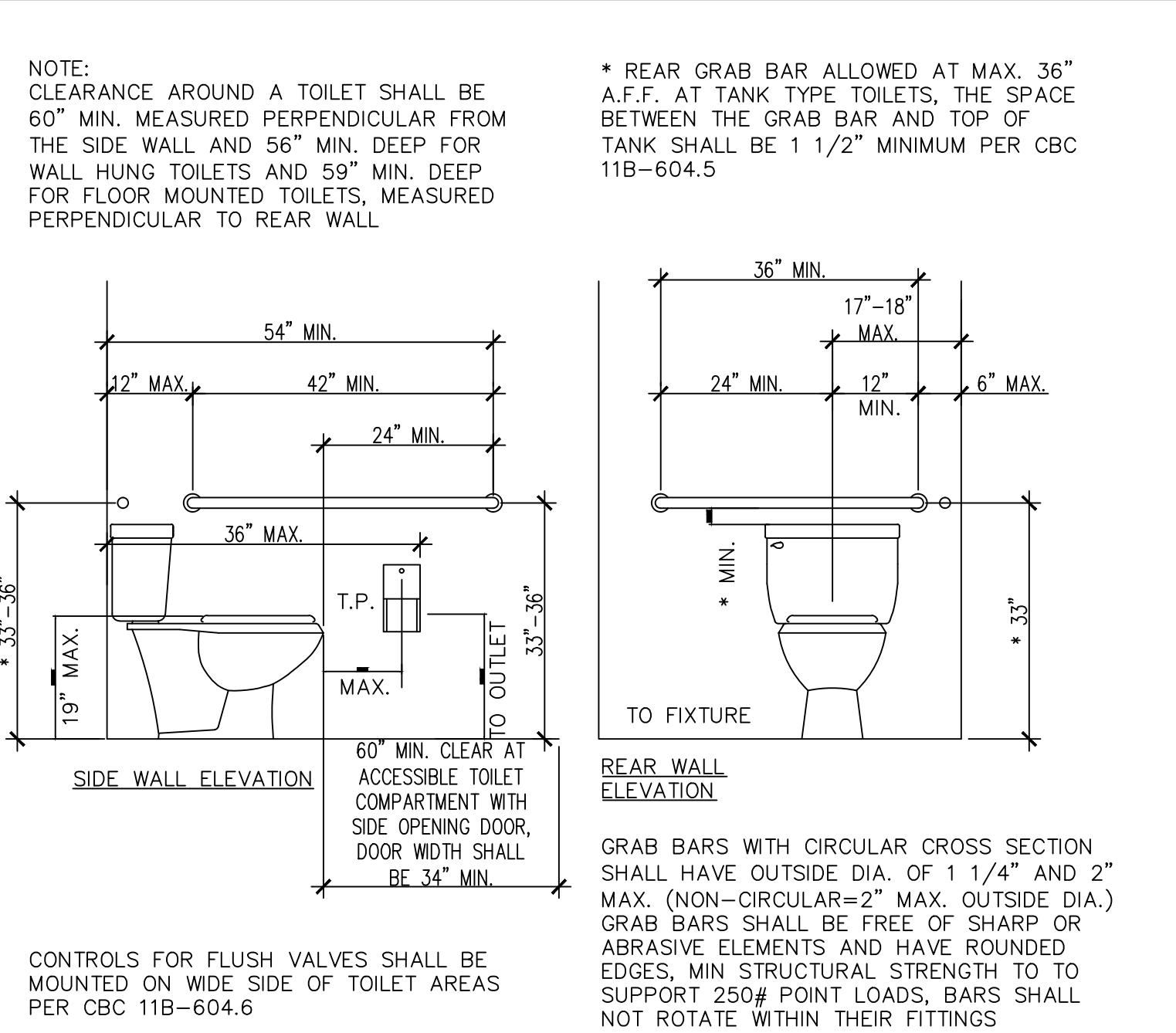
ADA & TITLE 24



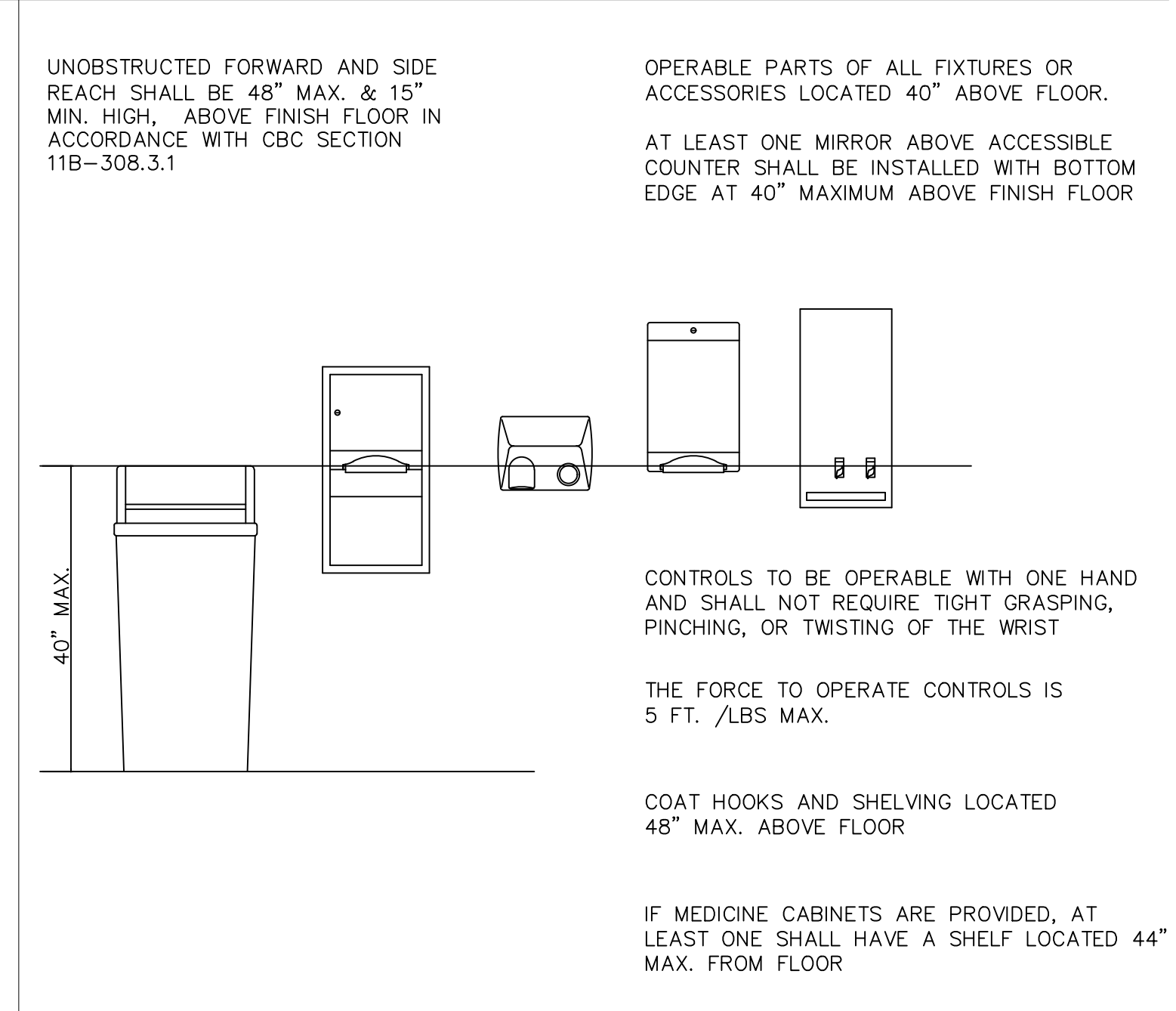
7 GRAB BAR DETAIL
SCALE: NO SCALE



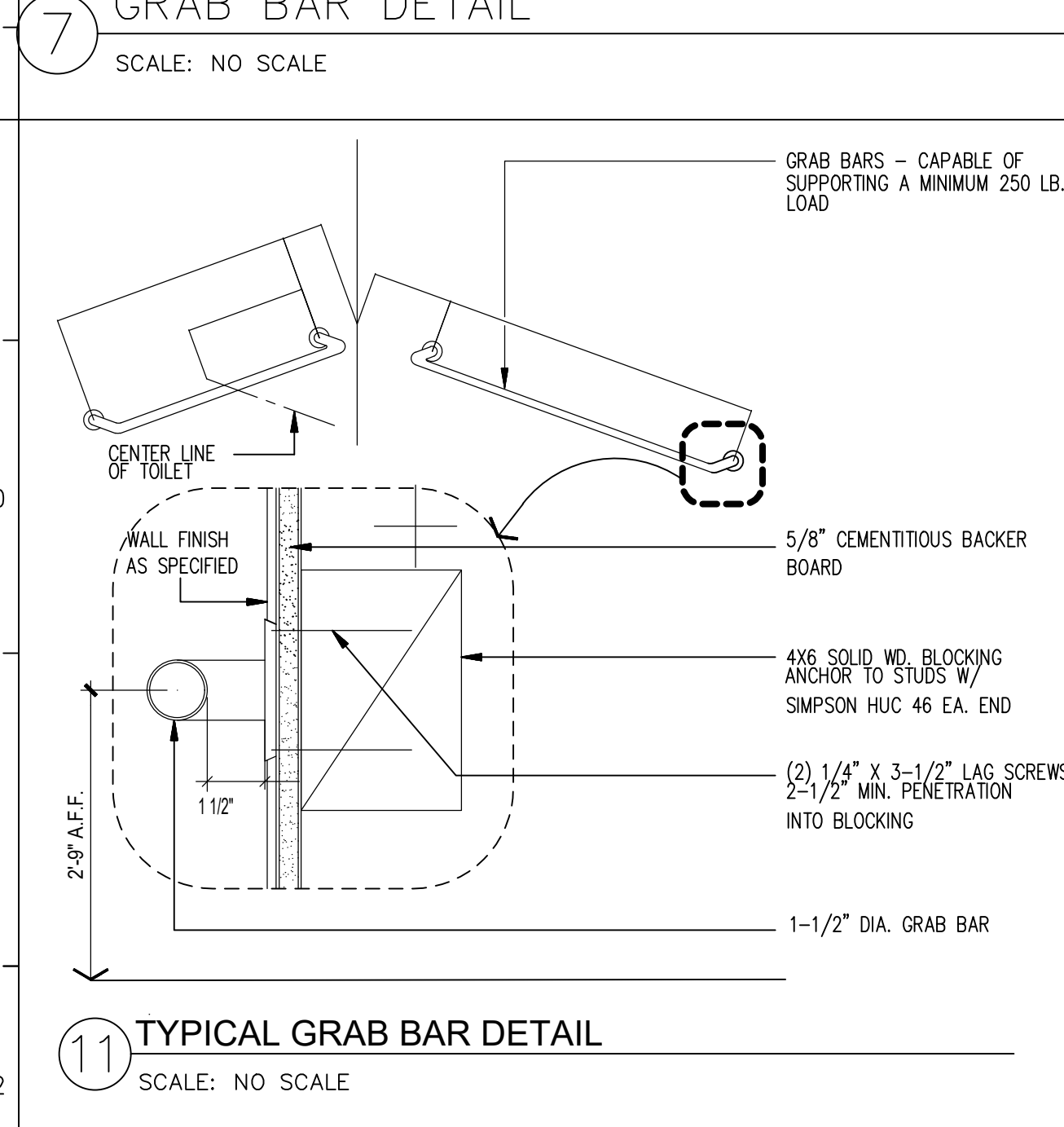
6 ACCESSIBLE LAVATORY REQUIREMENTS
SCALE: NO SCALE



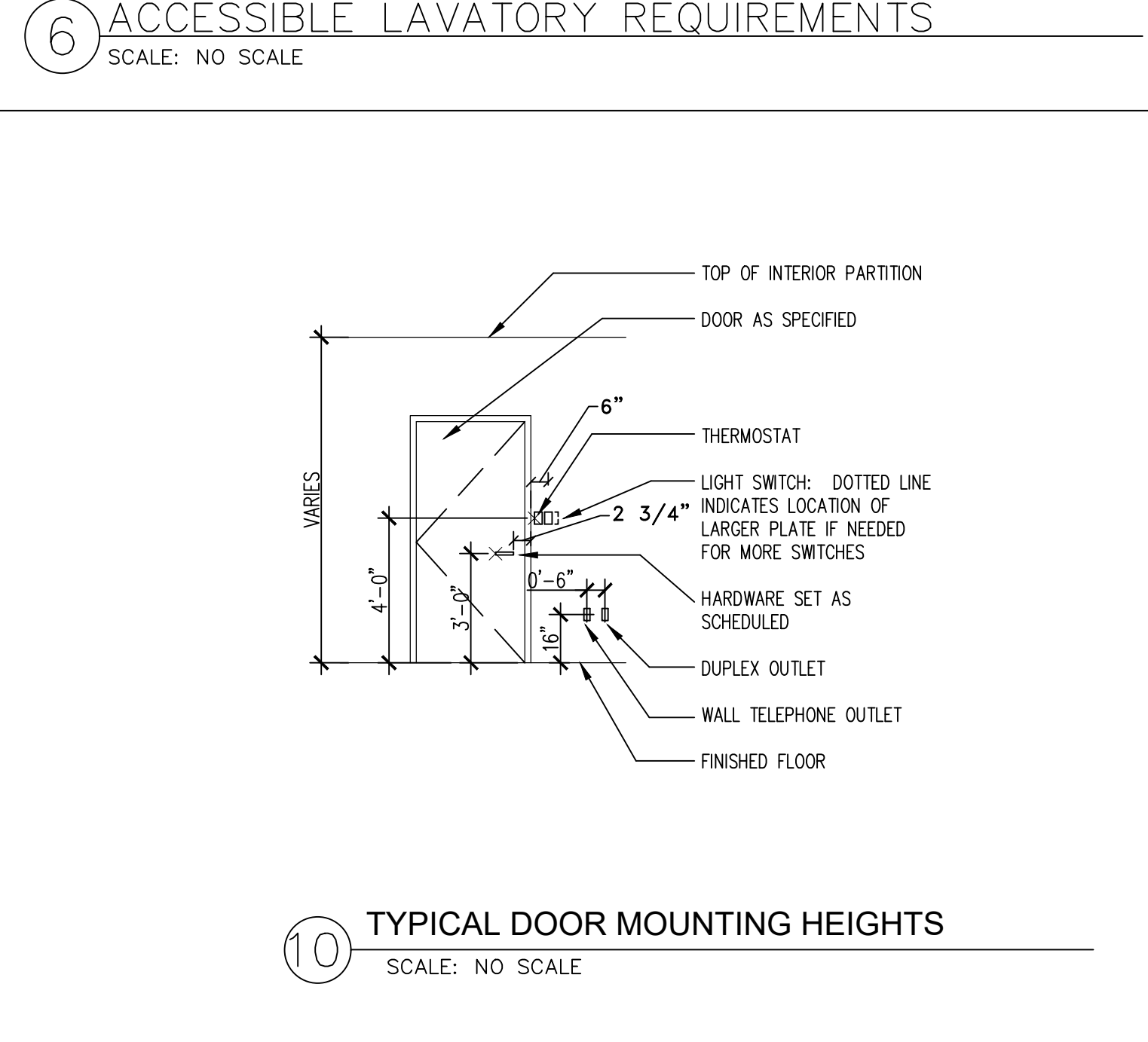
5 ACCESSIBLE TOILET REQUIREMENTS
SCALE: NO SCALE



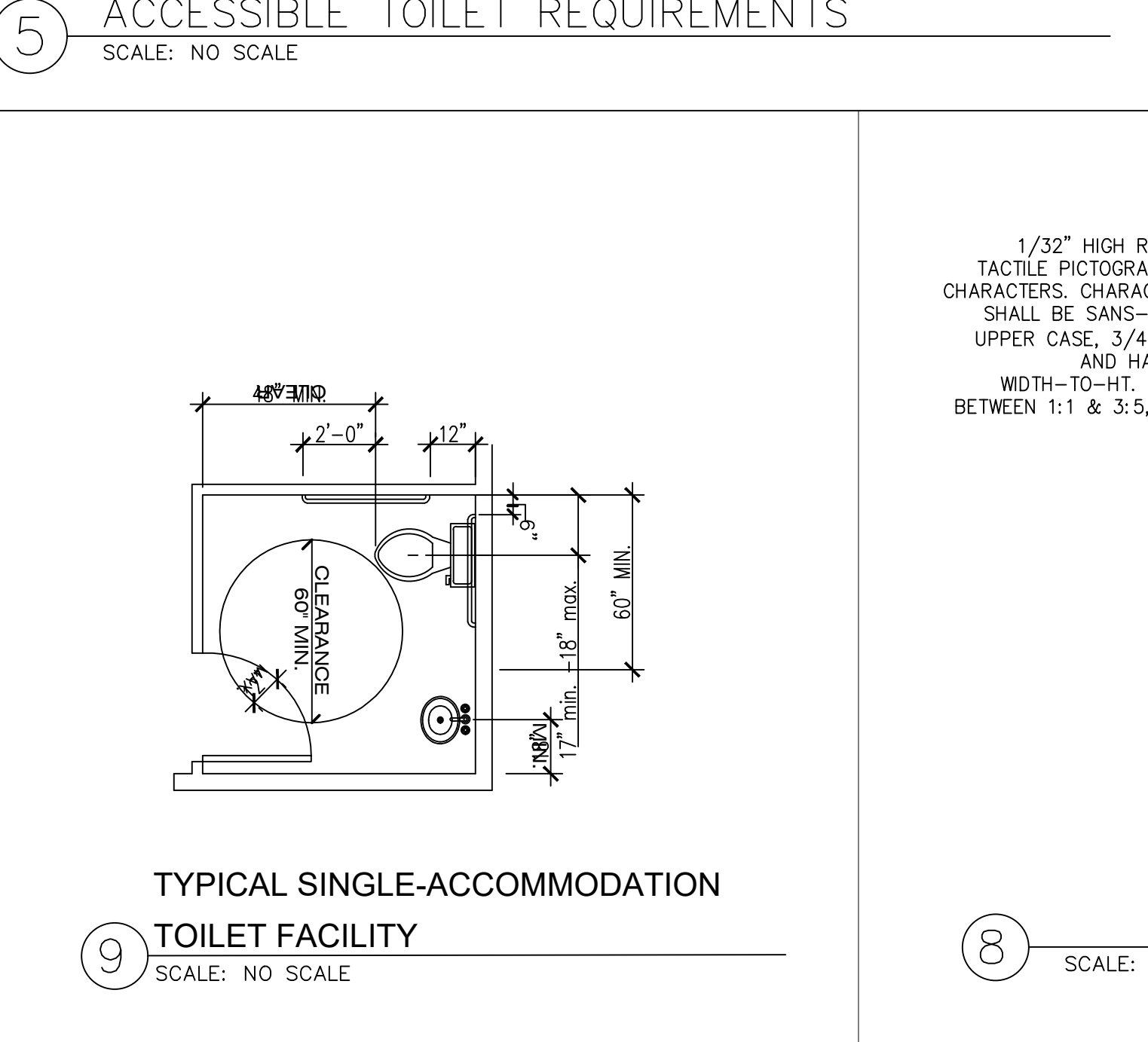
4 ACCESSIBLE TOILET ACCESSORIES
SCALE: NO SCALE



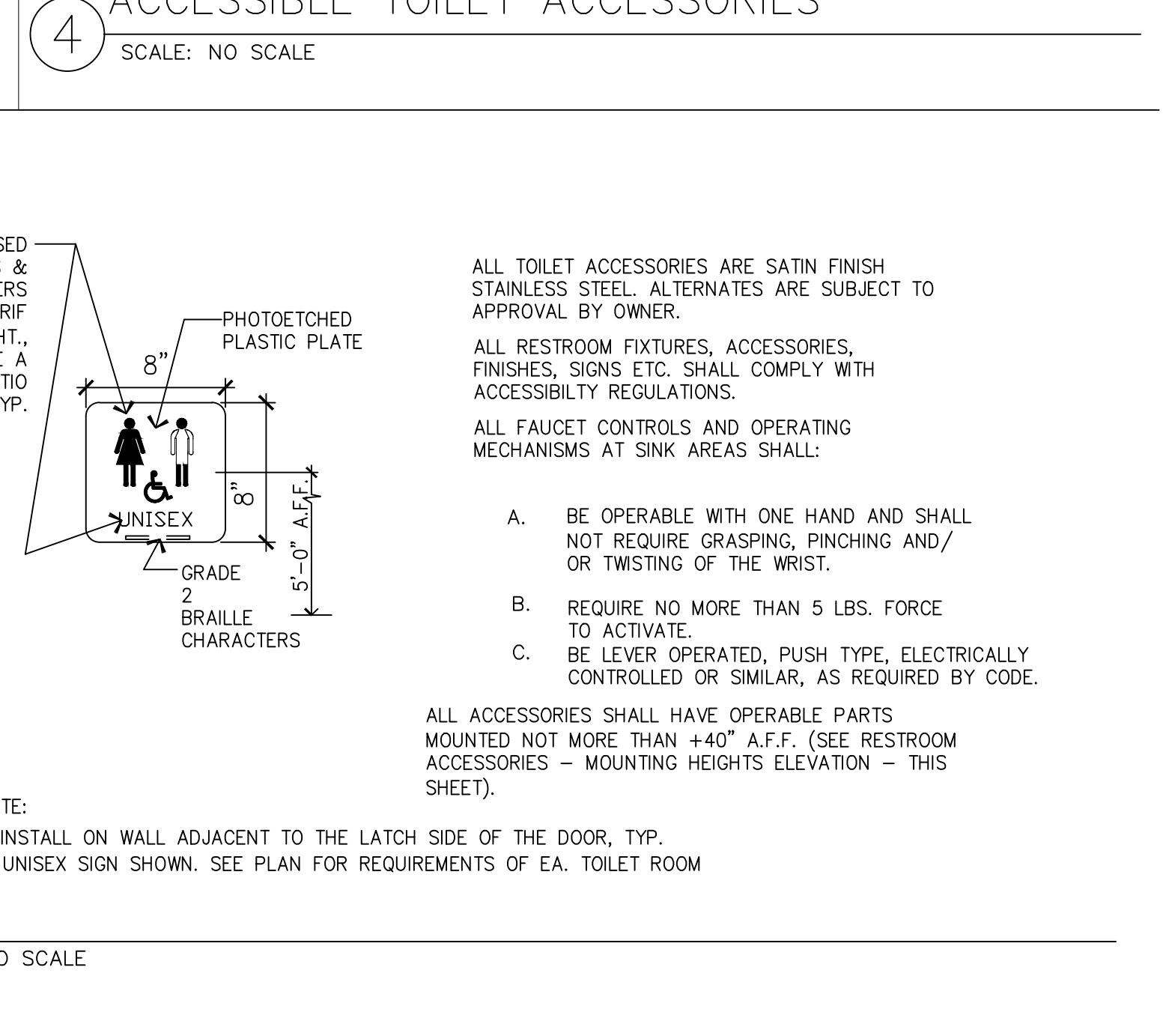
11 TYPICAL GRAB BAR DETAIL
SCALE: NO SCALE



10 TYPICAL DOOR MOUNTING HEIGHTS
SCALE: NO SCALE



9 TOILET FACILITY
SCALE: NO SCALE



8
SCALE: NO SCALE

PITTSBURG, CA

FISHERMEN'S CATCH

2685 E LELAND ROAD

DESIGNER

KEN NGUYEN
730 GIRARD ST
SAN FRANCISCO, CA 94134
P. 415. 699.5886

REGISTERED PROFESSIONAL ENGINEER

KEN NGUYEN
No. 04006
Exp. 06/30/25
CIVIL
STATE OF CALIFORNIA

ISSUED		
NO.	DESCRIPTION	DATE

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Drawn by: KN

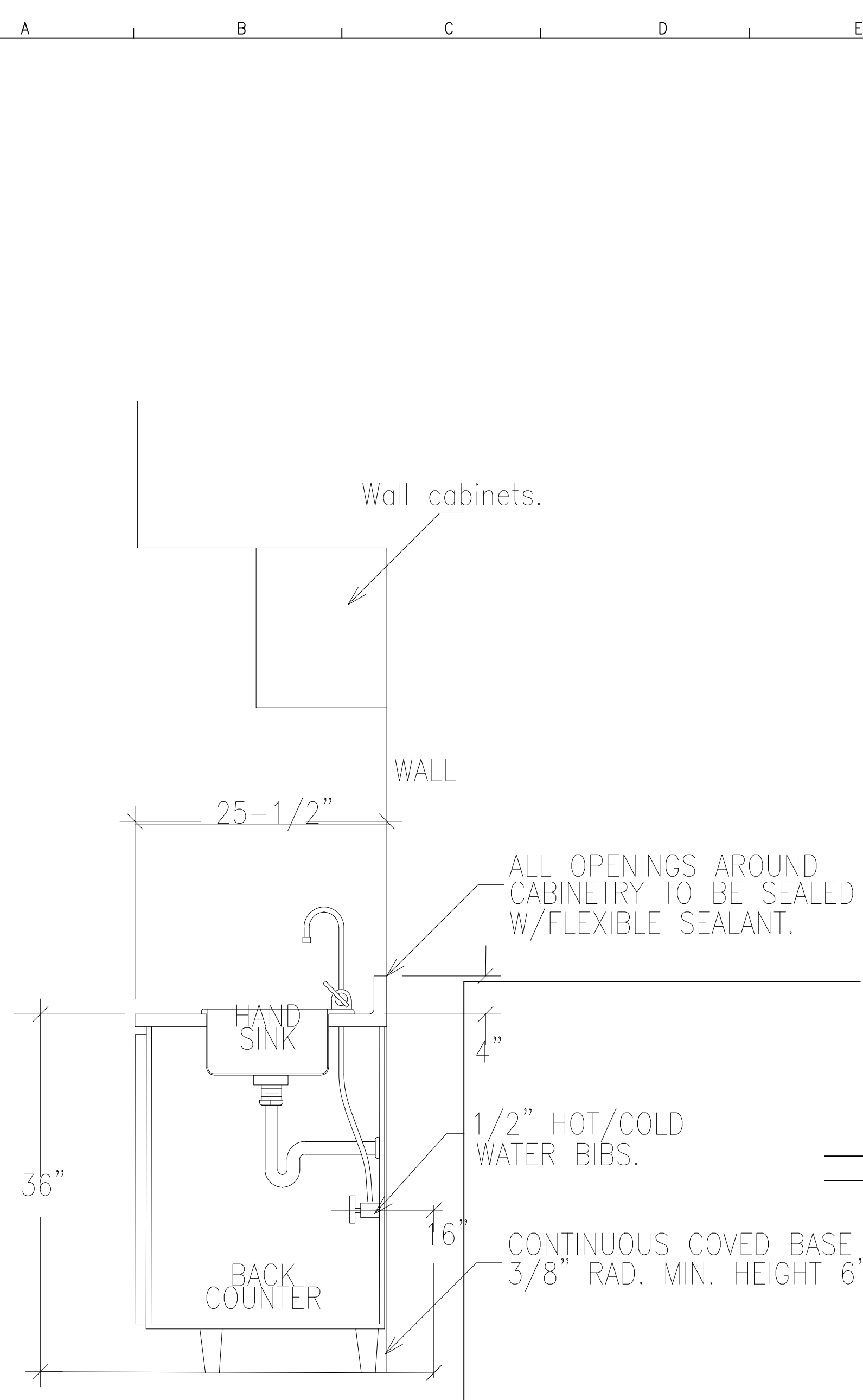
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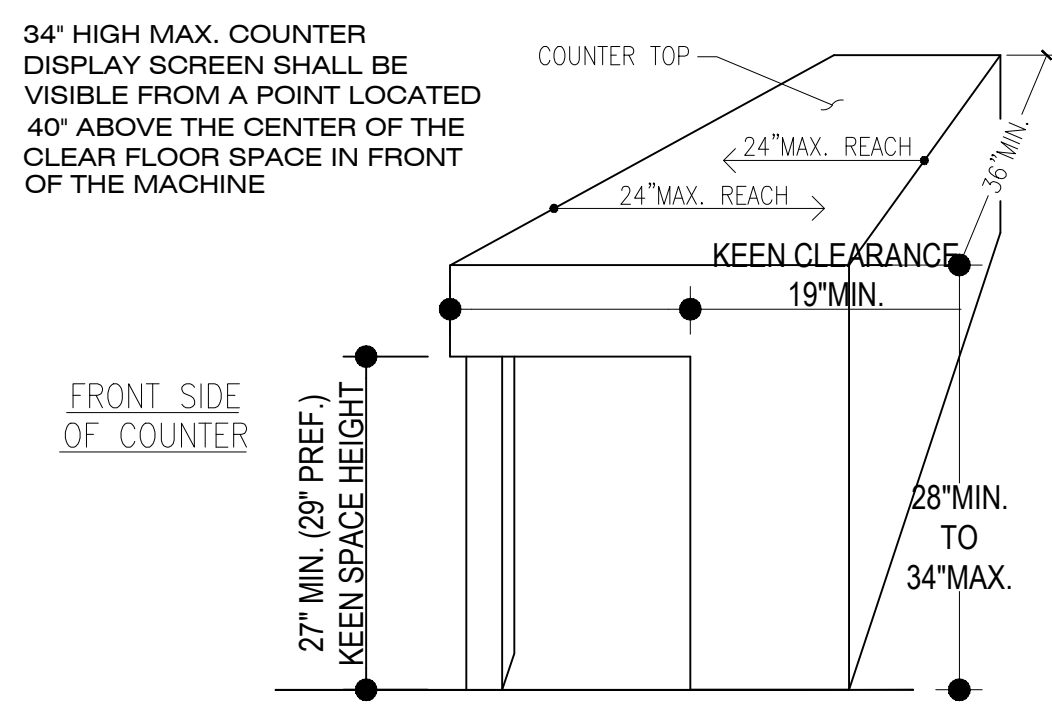
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SHEET TITLE:
ADA
DETAILS

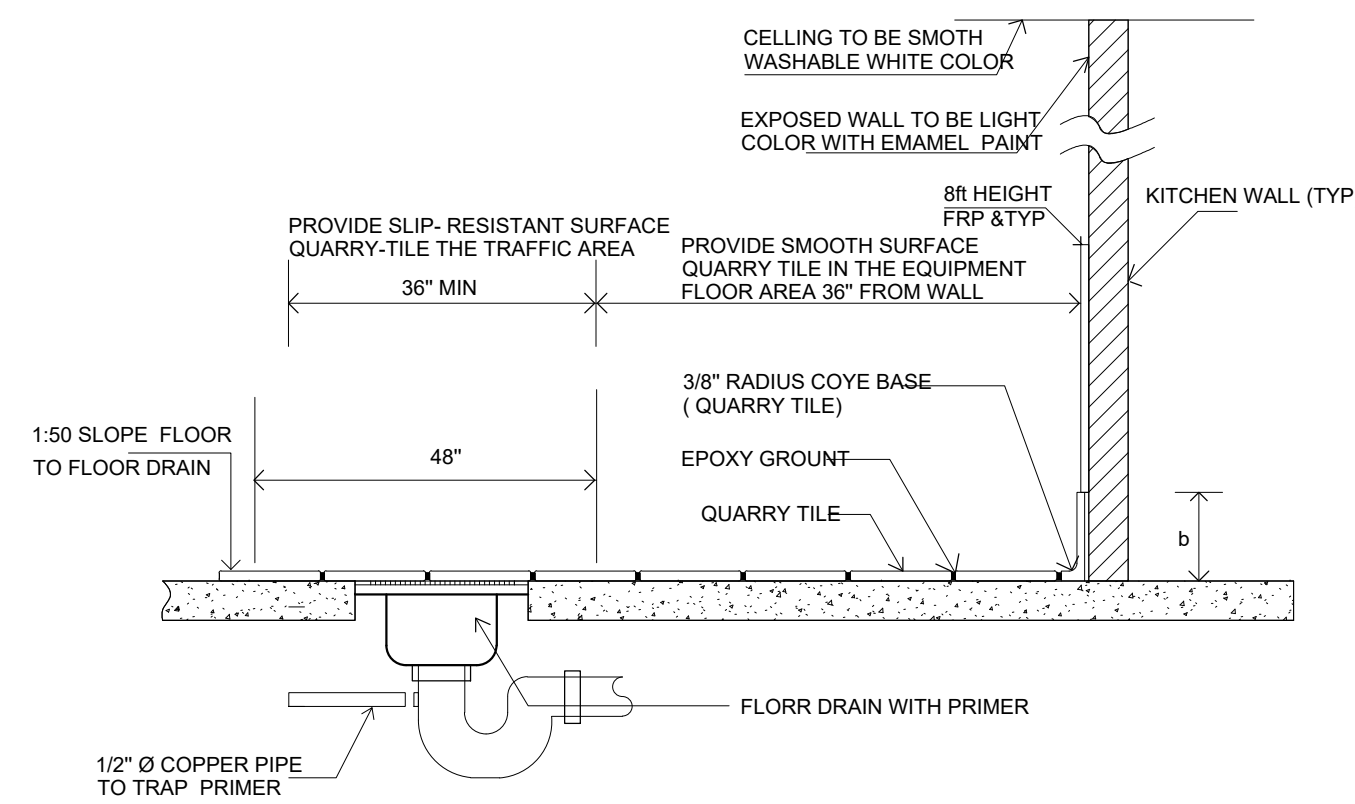
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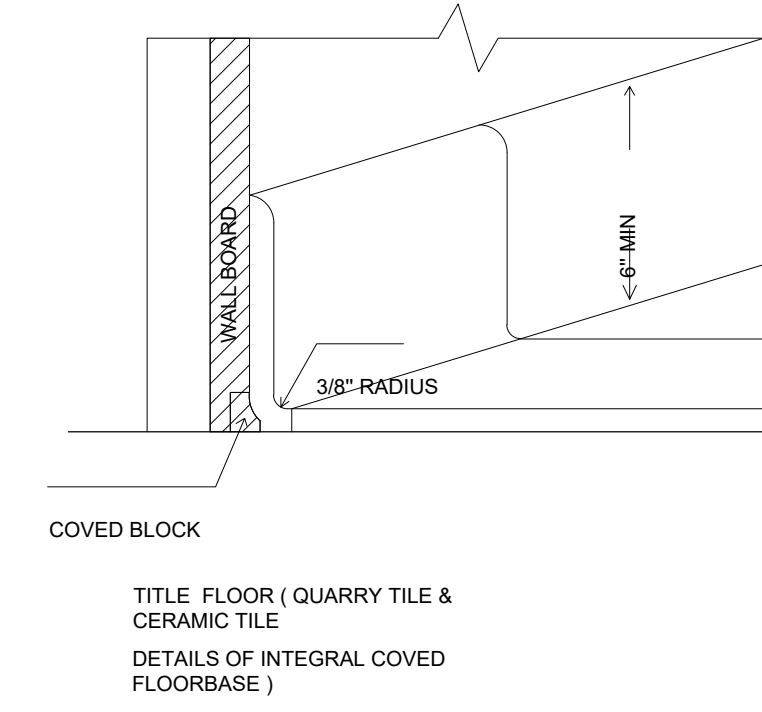
7 COUNTER ELEVATION
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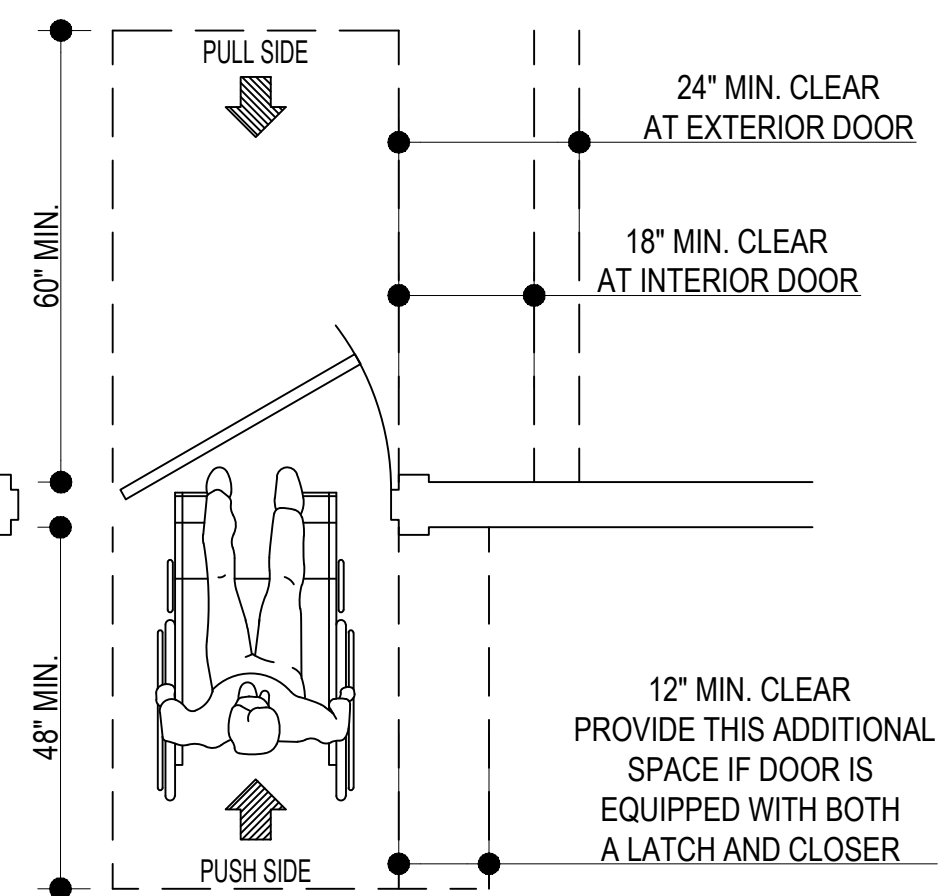
6 ACCESSIBLE COUNTER
SCALE: NOT TO SCALE



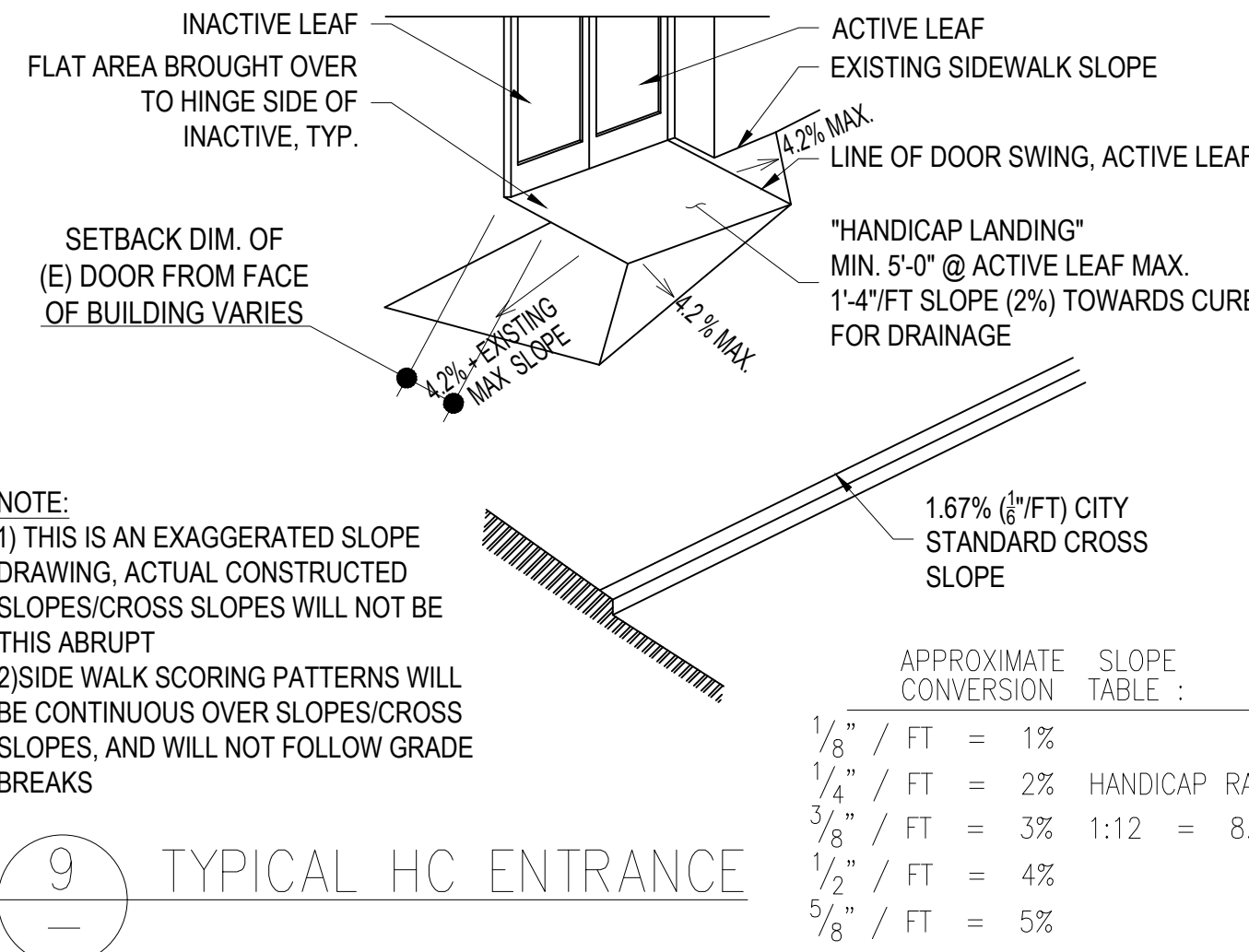
5 FLOOR, WALL CEILING FINISH
SCALE: NOT TO SCALE



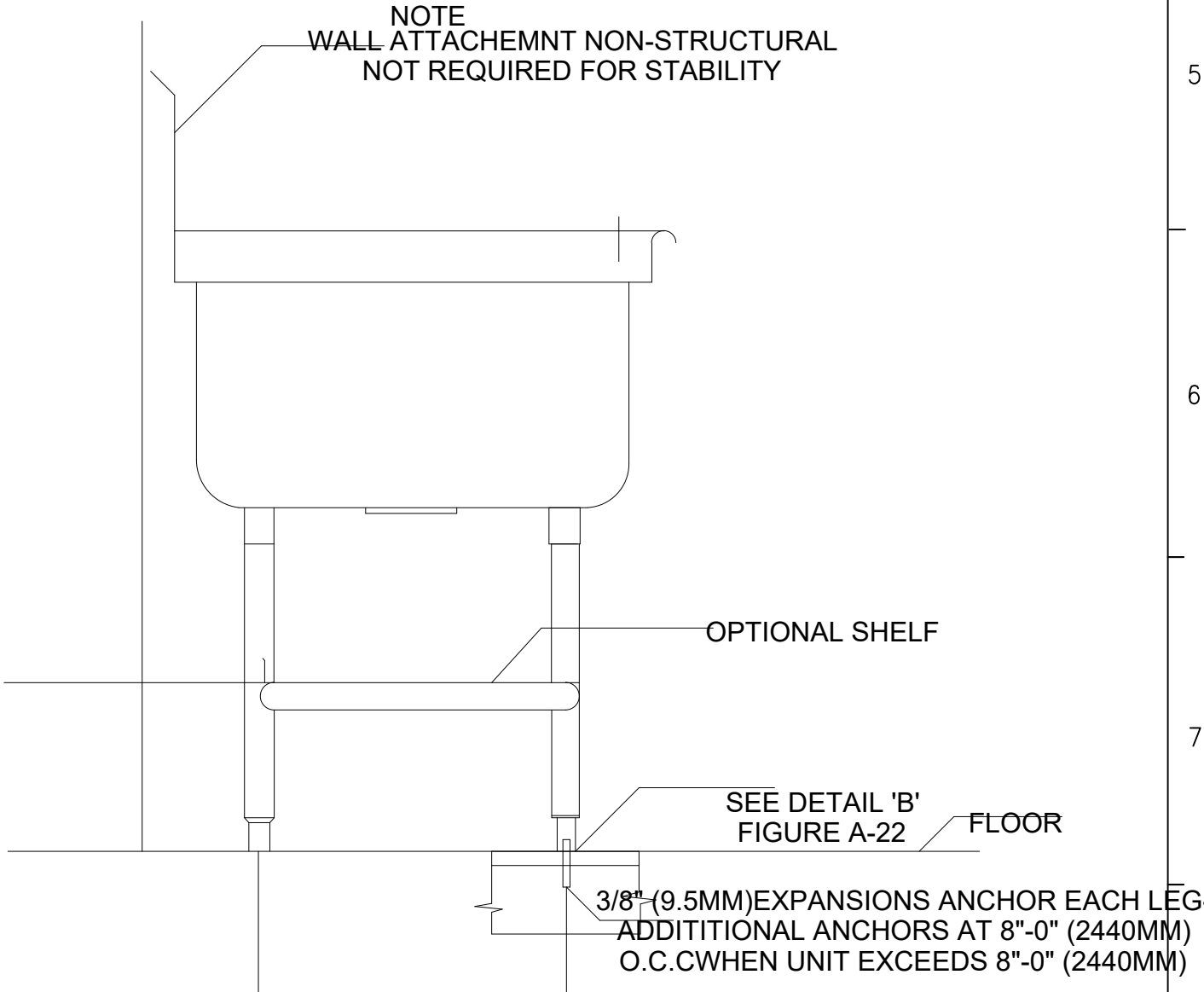
4 TILE FLOOR DETAIL
SCALE: NOT TO SCALE



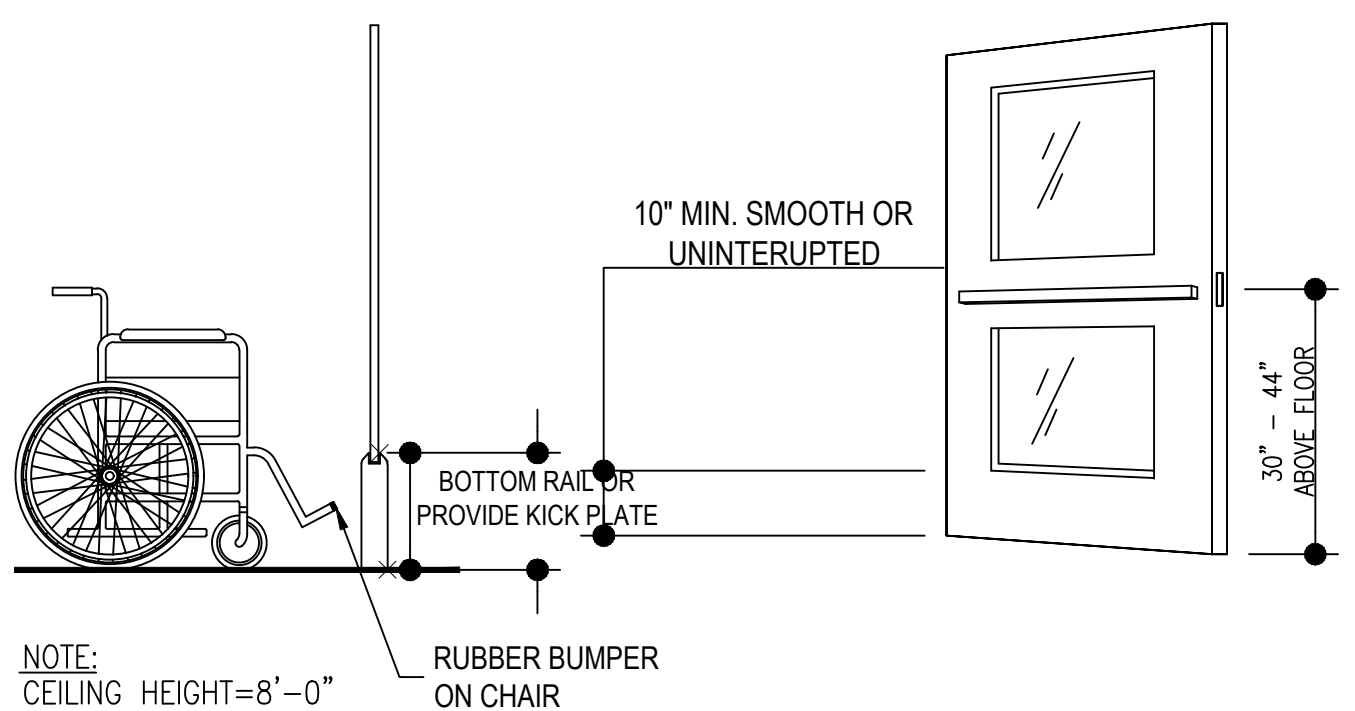
10 DOOR CLEARANCE DETAIL
NTS



9 TYPICAL HC ENTRANCE



8 WALL ATTACHED SINK WOKTABLE WITHOUT WALL CLIP
SCALE: NOT TO SCALE



11 DOOR CONSTRUCTION
NTS

FISHERMEN 'S CATCH
2685 E LELAND ROAD
PITTSBURG , CA

DESIGNER
KEN NGUYEN
730 GIRFARD ST
SAN FRANCISCO, CA 94134
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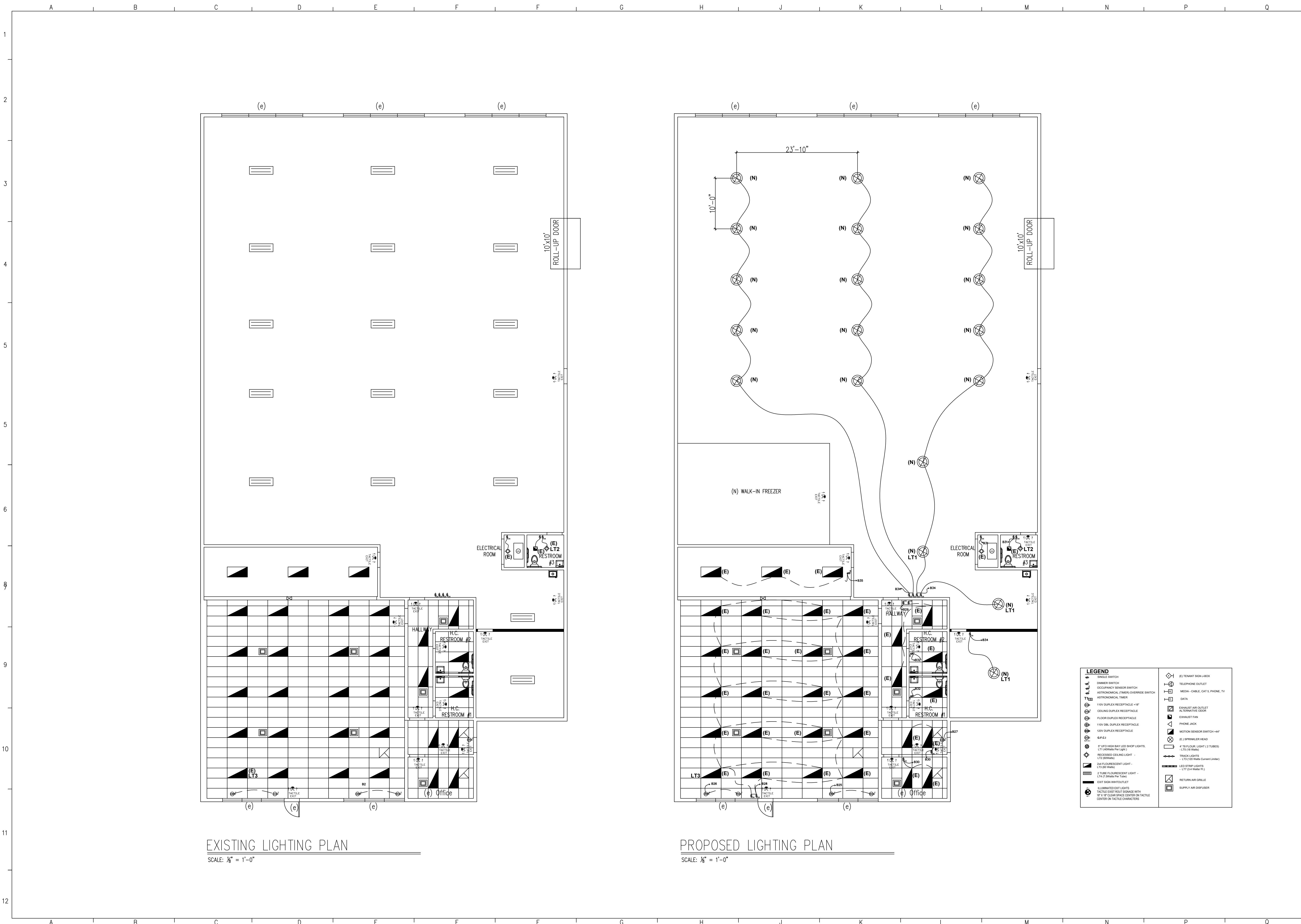
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Designed by: KN
Drawn by: KN
Job: 06.24.24
Date: 06.24.24
Scale: AS-SHOWN

SHEET TITLE:
ADA and PLUMBING
DETAILS

SHEET NO.
A7



EXISTING LIGHTING PLAN
SCALE: 1/8" = 1'-0"

PROPOSED LIGHTING PLAN
SCALE: 1/8" = 1'-0"

LEGEND

○	SINGLE SWITCH	⊕	TENANT SIGN J-BOX
⊖	DIMMER SWITCH	⊕	TELEPHONE OUTLET
⊖	OCCUPANCY SENSOR SWITCH	⊕	MEDIA - CABLE, CAT 5, PHONE, TV
⊖	ASTRONOMICAL (TIMER) OVERRIDE SWITCH	⊕	DATA
⊖	ASTRONOMICAL TIMER	⊕	EXHAUST AIR OUTLET
⊖	110V DUPLEX RECEPTACLE - 1"*	⊕	ALTERNATING COVER
⊖	FLOOR DUPLEX RECEPTACLE	⊕	EXHAUST FAN
⊖	110V DBL DUPLEX RECEPTACLE	⊕	PHONE JACK
⊖	120V DUPLEX RECEPTACLE	⊕	MOTION SENSOR SWITCH 1/4"
⊖	0 P.F.C.I	⊕	(E) SPRINKLER HEAD
⊖	8" LF/D HIGH BAY LED SHOP LIGHTS - LT1 (8000 MH)	⊕	# 78 FLOOR LIGHT (2 TUBES) - LT2 (8000 MH)
⊖	RECESSED CEILING LIGHT - LT3 (8000 MH)	⊕	LED FLOOR LIGHT - LT7 (24 WATT FL)
⊖	24" FLUORESCENT LIGHT - LT4 (7500 MH)	⊕	LED STORE LIGHTS - LT7 (24 WATT FL)
⊖	EXIT SIGN W/OUTLET	⊕	TRACK LIGHTS - LT7 (24 WATT FL)
⊖	ILLUMINATED EXIT LIGHTS	⊕	LED STORE LIGHTS - LT7 (24 WATT FL)
⊖	TACTILE EXIT SIGN WITH 18" CLEAR SPACE CENTER ON TACTILE CENTER ON TACTILE CHARACTERS	⊕	RETURN AIR GRILLE
⊖		⊕	SUPPLY AIR DISBURSER

PITTSBURG , CA
2685 LELAND ROAD

FISHERMEN 'S CATCH

DESIGNER
KEN NGUYEN
730 GIRARD ST
SAN FRANCISCO, CA 94134
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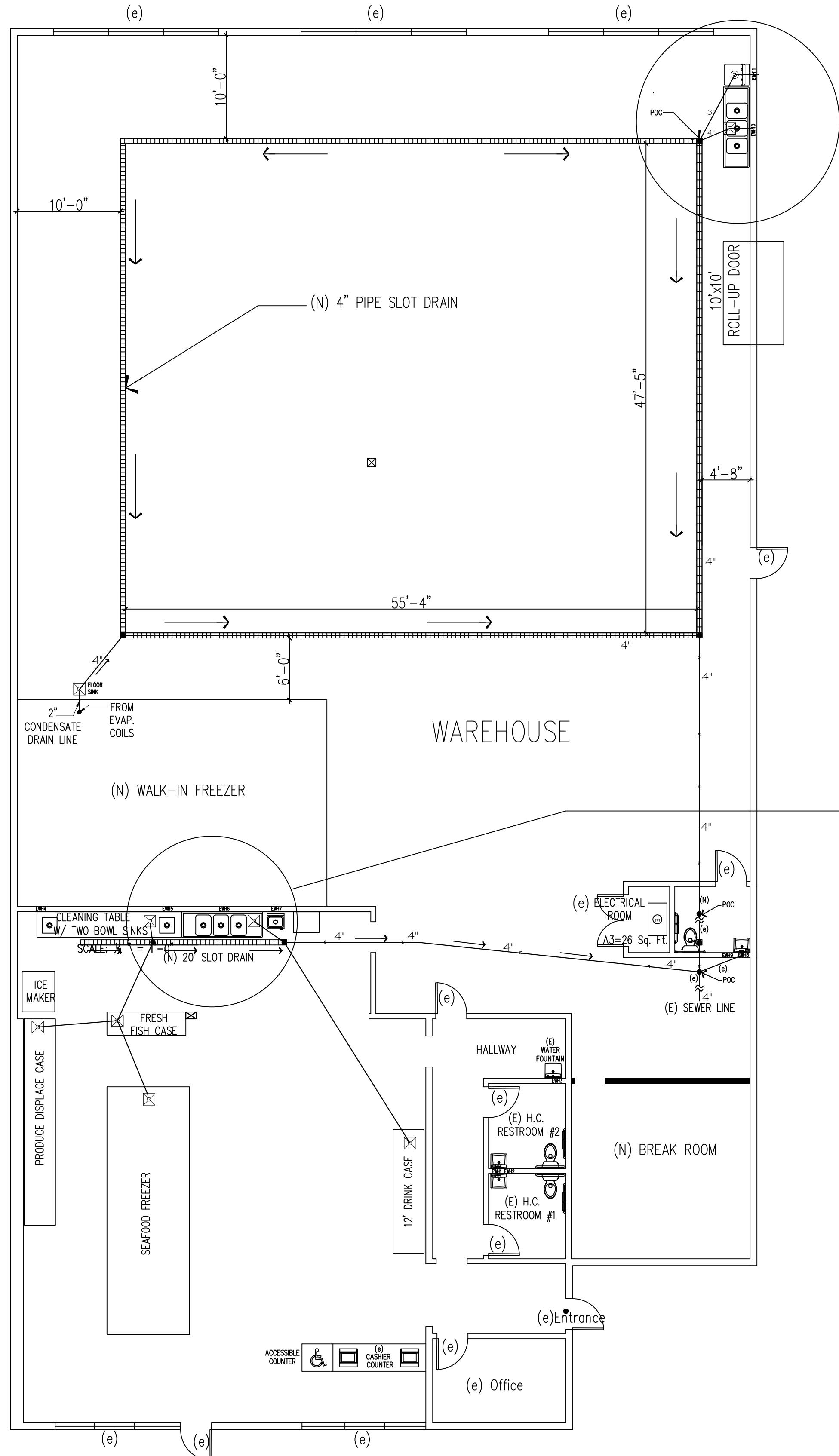
REGISTERED PROFESSIONAL ENGINEER
KEN NGUYEN
No. 00866
Exp. 06/30/25
CIVIL
STATE OF CALIFORNIA

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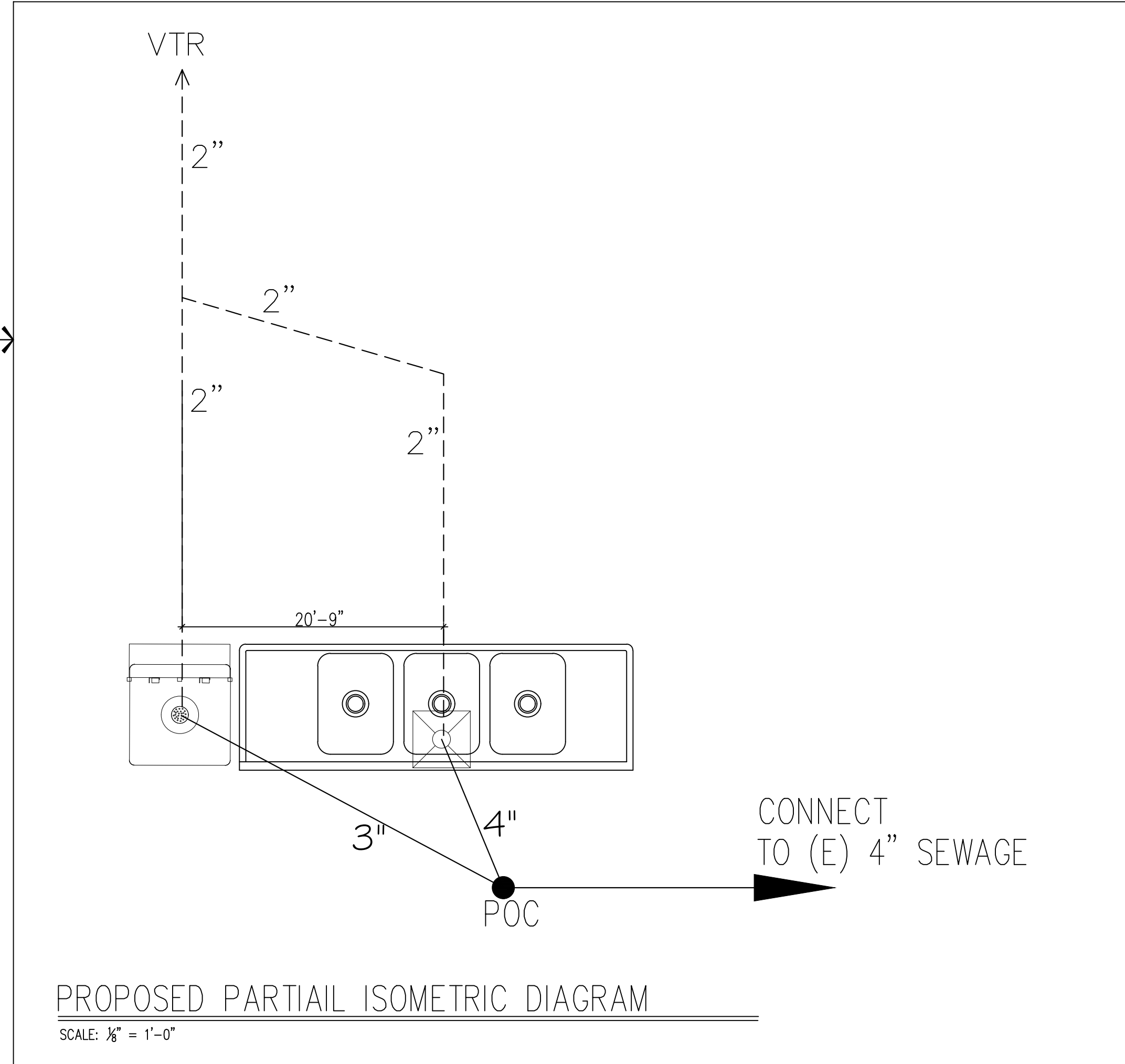
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Drawn by: KN
Job: 06.24.24
Date: 06.24.24
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SHEET TITLE:
EXISTING & PROPOSED
LIGHTING LAYOUTS

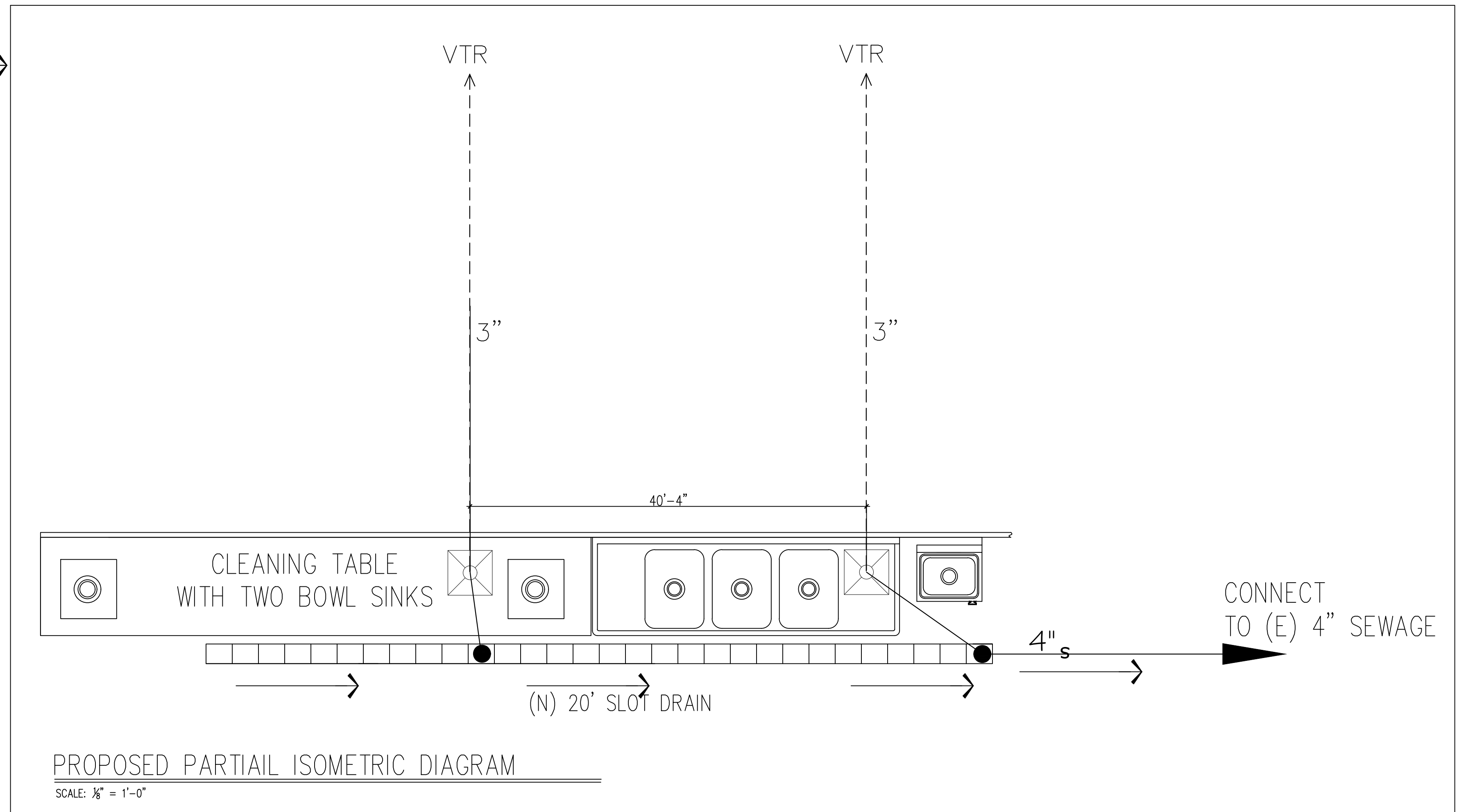
SHEET NO.
E1



PROPOSED WASTE PLUMBING PLAN
SCALE: 1/8" = 1'-0"



PROPOSED PARTIAL ISOMETRIC DIAGRAM
SCALE: 1/8" = 1'-0"



PROPOSED PARTIAL ISOMETRIC DIAGRAM
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- ALL WORKS TO BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES, LAWS AND REGULATIONS.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED UTILITIES NOTED.
 - ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE U.L. LISTED.
- PLUMBING NOTES:**
- TYPES OF WORK SPECIFIED IN THIS SECTION INCLUDE THE FOLLOWING:
 - DRAINAGE AND VENT SYSTEMS.
 - DOMESTIC (HOT AND COLD) WATER SYSTEMS TO EQUIPMENT AND PLUMBING FIXTURES.
 - DOMESTIC HOT WATER AND SPACE SYSTEMS.
 - GAS PIPING.
 - OTHER NECESSARY ITEMS REQUIRED AND INCIDENTAL TO COMPLETING ALL PLUMBING WORKS AS INDICATED ON THE DRAWINGS AND DESIGNATED HEREIN.
 - CODES AND STANDARDS:
 - PLUMBING CODE COMPLIANCE: COMPLY WITH APPLICABLE PORTIONS OF LOCAL PLUMBING CODE PERTAINING TO SELECTION AND INSTALLATION OF PLUMBING MATERIALS AND PRODUCTS.
 - ANSI COMPLIANCE: COMPLY WITH APPLIANCE ANSI STANDARDS PERTAINING TO MATERIALS, PRODUCTS, AND INSTALLATION.
 - CEC COMPLIANCE: COMPLY WITH APPLICABLE STATE ENERGY REGULATIONS AND HANDICAP REQUIREMENTS.
 - PRODUCTS:
 - SANITARY SOIL, WASTE AND VENT SYSTEM:
 - ABOVE GROUND CONTRACTOR OPTIONS: DWV MAY BE USED FOR PIPE SIZES 2" AND SMALLER.
 - WATER SYSTEMS:
 - ABOVE GROUND:
 - DOMESTIC COLD WATER, COPPER, PRESSURE TYPE M, JOINTS 90° SOLDER.
 - DOMESTIC HOT WATER, COPPER, PRESSURE TYPE M, JOINTS 90° SOLDER.
 - GAS PIPING:
 - ABOVE GROUND INSIDE BUILDING, BLACK STEEL SCHED. 40.
 - ABOVE GROUND OUTSIDE BUILDING, GALVANIZED STEEL SCHED. 40.
 - CLOSED LOOP HYDRONIC PIPING.
 - PEX TUBING OR COPPER PIPE.
 - IF INCLUDED IN SCOPE OF WORKS:
 - ALL PLUMBING FIXTURES SHALL BE CERTIFIED TO THE CALIFORNIA ENERGY COMMISSION (WATER CLOSET: 1.5gpf, URINAL: .5gpf, TOILET: 1gpf, SHOWER HEADS: 2.0GPM, LAVATORY FAUCETS: 2.2GPM, KITCHEN SINKS: 2.2GPM.
 - WRAP ALL HOT WATER PIPING AND TRAPS BELOW LAVATORIES.
 - BACKFLOW PREVENTION DEVICES (PRESSURE DETECT TYPE) SHALL BE INSTALLED ON ALL SHAMPOOS HOT AND COLD- WATER SUPPLY. ALSO, BACKFLOW PREVENTION DEVICE SHALL BE COMPLIANT WITH CPC 603.5.7.

FISHERMEN 'S CATCH

2685 E. LELAND RD., PITTSBURG, CA 94565

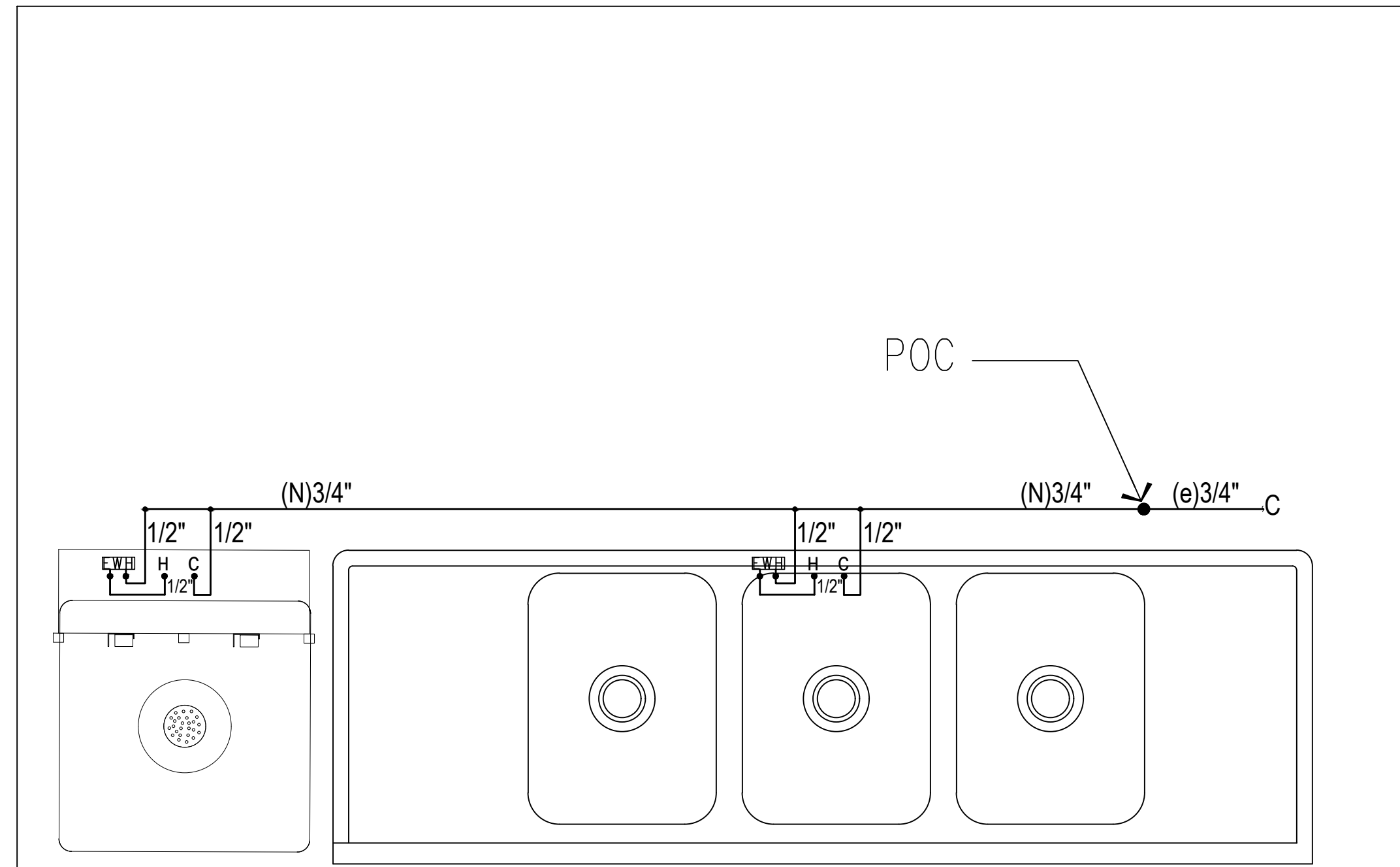
DESIGNER: KEN NGUYEN
730 GIRARD ST
SAN FRANCISCO, CA 94134
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ISSUED		
NO.	DESCRIPTION	DATE
△		

Designed by: KN
 Drawn by: KN
 Job: 240601
 Date: 06.09.24
 Scale: 1/4" = 1'-0"

SHEET TITLE:
 PROPOSED
 PLUMBING PLAN

SHEET NO.
 P1



PROPOSED PARTIAL WATER SUPPLY PLAN

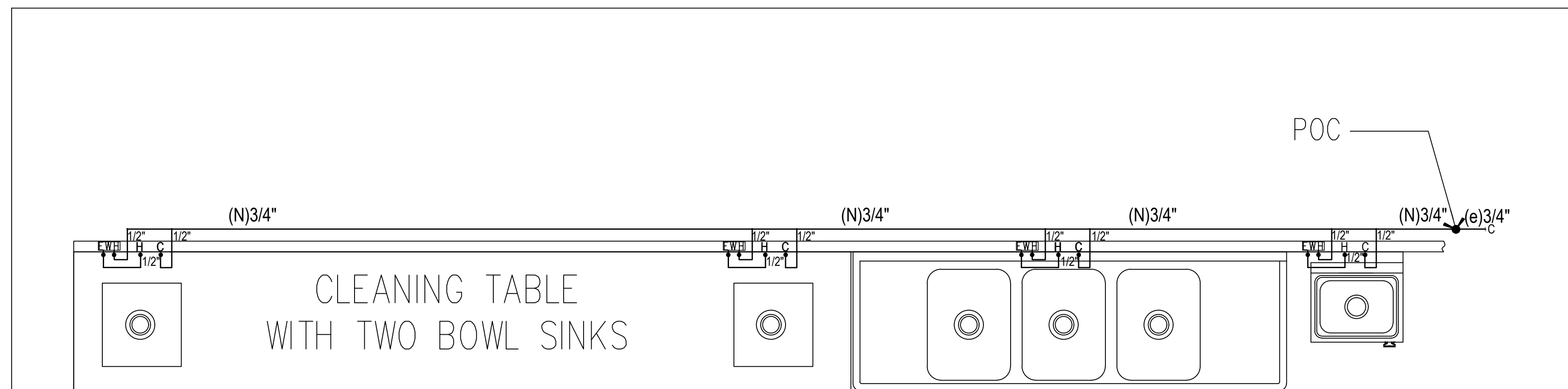
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. ALL WORKS TO BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES, LAWS AND REGULATIONS.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED UTILITIES NOTED.
3. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE U.L. LISTED.

PLUMBING NOTES:

1. TYPES OF WORK SPECIFIED IN THIS SECTION INCLUDE THE FOLLOWING:
 - A) DRAINAGE AND VENT SYSTEMS.
 - B) DOMESTIC (HOT AND COLD) WATER SYSTEMS TO EQUIPMENT AND PLUMBING FIXTURES.
 - C) DOMESTIC HOT WATER AND SPACE SYSTEMS.
 - D) GAS PIPING
 - E) OTHER NECESSARY ITEMS REQUIRED AND INCIDENTAL TO COMPLETING ALL PLUMBING WORKS AS INDICATED ON THE DRAWINGS AND DESIGNATED HEREIN.
2. CODES AND STANDARD:
 - A) PLUMBING CODE COMPLIANCE: COMPLY WITH APPLICABLE PORTIONS OF LOCAL PLUMBING CODE PERTAINING TO SELECTION AND INSTALLATION OF PLUMBING MATERIALS AND PRODUCTS.
 - B) ANSI COMPLIANCE: COMPLY WITH APPLIANCE ANSI STANDARDS PERTAINING TO MATERIALS, PRODUCTS, AND INSTALLATION.
 - C) CEC COMPLIANCE: COMPLY WITH APPLICABLE STATE ENERGY REGULATIONS AND HANDICAP REQUIREMENTS.
3. PRODUCTS:
 - A) SANITARY SOIL, WASTE AND VENT SYSTEM:
 1. ABOVE GROUND CONTRACTOR OPTIONS: DWV MAY BE USED FOR PIPE SIZES 2 1/2" AND SMALLER.
 - B) WATER SYSTEMS:
 1. ABOVE GROUND:
 - a) DOMESTIC COLD WATER, COPPER, PRESSURE TYPE M, JOINTS 90% SOLDER.
 - b) DOMESTIC HOT WATER, COPPER, PRESSURE TYPE M, JOINTS 90% SOLDER.
 - c) GAS PIPING:
 - 1) ABOVE GROUND INSIDE BUILDING, BLACK STEEL SCHED. 40.
 - 2) ABOVE GROUND OUTSIDE BUILDING, GALVANIZED STEEL SCHED. 40.
 - d) CLOSED LOOP HYDRONIC PIPING:
 - 1) PEX TUBING OR COPPER PIPE.
4. IF INCLUDED IN SCOPE OF WORKS:
 - a) ALL PLUMBING FIXTURES SHALL BE CERTIFIED TO THE CALIFORNIA ENERGY COMMISSION (WATER CLOSET: 1.5gpf, URINAL: .5gpf, TOILET: 1gpf, SHOWER HEADS: 2.0GPM, LAVATORY FAUCETS: 2.2GPM; KITCHEN SINKS: 2.2GPM.
 - b) WRAP ALL HOT WATER PIPING AND TRAPS BELOW LAVATORIES.
5. BACKFLOW PREVENTION DEVICES (PRESSURE DETECT TYPE) SHALL BE INSTALLED ON ALL SHAMPOOS' HOT AND COLD- WATER SUPPLY. ALSO, BACKFLOW PREVENTION DEVICE SHALL BE COMPLIANT WITH CPC 603.5.7.



PROPOSED PARTIAL WATER SUPPLY PLAN

SCALE: 1/8" = 1'-0"

CPC TABLE 610.4	
PRESSURE	30-45 PSI
DEV. LENGTH	226 FT
METER SIZE	3/4"
SIZE	FU
1/2"	1.0
3/4"	5.0
1"	15.0
1 1/2"	32.0
2"	64.0
2 1/2"	185.0

FISHERMEN 'S CATCH
 2685 LELAND RD, PITTSBURG, CA 94565

DESIGNER
 KEN NGUYEN
 730 GIRARD ST
 SAN FRANCISCO, CA 94134
 P. 415. 699.5886



ISSUED		
NO.	DESCRIPTION	DATE
△		

Designed by: KN
 Drawn by: KN
 Job: 240601
 Date: 06.09.24
 Scale: 1/4" = 1'-0"
 SHEET TITLE:
 PROPOSED
 PLUMBING PLAN
 SHEET NO.

P2

Indoor Lighting Mandatory Measures:

110.9 LIGHTING CONTROLS AND COMPONENTS
 ALL LIGHTING CONTROL DEVICES AND SYSTEMS, AND ALL LIGHT SOURCES SHALL MEET THE APPLICABLE REQUIREMENTS OF 110.9.
(NOTE: THE EXCEPTED SPACES DO NOT COUNT TOWARDS THE 10,000 FT² THRESHOLD.)

130.0 GENERAL LUMINAIRE REQUIREMENTS
 ALL LUMINAIRES SHALL BE FACTOR-LABELLED PER 130.0(c).
 ENERGY MANAGEMENT CONTROL SYSTEMS (EMCS) SHALL MEET REQUIREMENTS OF 130.0(e).

130.1(a) MANUAL AREA CONTROLS
 EACH ROOM OR AREA WITH FLOOR-TO-CEILING WALLS IN THIS BUILDING SHALL HAVE LIGHTING CONTROLS THAT ALLOW LIGHTING TO BE MANUALLY TURNED ON AND OFF. MANUAL CONTROLS SHALL:

1. BE READILY ACCESSIBLE
2. BE LOCATED IN THE SAME ENCLOSED AREA WITH THE LIGHTING IT CONTROLS.
3. PROVIDE SEPARATE CONTROL OF GENERAL FLOOR, WALL, WINDOW CASE DISPLAY, ORNAMENTAL AND SPECIAL EFFECTS LIGHTING SO EACH TYPE CAN BE TURNED ON AND OFF SEPARATELY WITHOUT AFFECTING OTHER LIGHTING OR EQUIPMENT.

130.1(b) MULTILEVEL LIGHTING CONTROLS
 MULTILEVEL LIGHTING CONTROLS SHALL BE PROVIDED FOR AREAS AS 100 FT² OR GREATER AND WITH MORE THAN 0.5 WATTS PER FT² OF LIGHTING LOAD SHALL HAVE MULTILEVEL LIGHTING CONTROLS THAT ALLOW LIGHT LEVELS TO BE ADJUSTED UP AND DOWN. CONTROLS SHALL PROVIDE NUMBER OF CONTROL STEPS AND UNIFORM ILLUMINANCE LIGHT LEVELS PER TABLE 130.1.A.

130.1(c) SHUTOFF CONTROLS
 ALL INSTALLED INDOOR LIGHTING SHALL BE EQUIPPED WITH CONTROLS TO AUTOMATICALLY REDUCE LIGHTING POWER WHEN SPACE IS TYPICALLY UNOCCUPIED.

130.1(d) CONTROL REQUIREMENTS
 ALL INSTALLED INDOOR LIGHTING SHALL HAVE ALL OF THE FOLLOWING:

- A. CONTROLS CAPABLE OF AUTOMATICALLY SHUTTING OFF ALL LIGHTING IN THE SPACE WHEN TYPICALLY UNOCCUPIED (OCCUPANT SENSING CONTROL, AUTOMATIC TIME SWITCH CONTROL OR OTHER)
- B. SEPARATE CONTROLS FOR LIGHTING ON EACH FLOOR (OTHER THAN STAIRWELLS)
- C. SEPARATE CONTROLS FOR A SPACE ENCLOSED BY CEILING HEIGHT PARTITIONS NOT EXCEEDING 5,000 FT²

Indoor Lighting Mandatory Measures:

130.1(e) REQUIRED USE OF FULL-OFF OCCUPANT SENSORS
 FULL-OFF OCCUPANT SENSING CONTROLS THAT ARE CAPABLE OF AUTOMATICALLY SHUTTING OFF ALL LIGHTING WHEN THE CONTROL ZONE IS UNOCCUPIED FOR 20 MINUTES OR LESS ARE REQUIRED FOR:

- OFFICES 250 SQ FT OR SMALLER
- CLASSROOMS 1,000 SQ FT OR SMALLER
- CLASSROOMS OF ANY SIZE
- CONFERENCE ROOMS OF ANY SIZE
- RESTROOMS OF ANY SIZE

ADDITIONAL FULL-OFF CONTROL FUNCTIONALITY:
 WHEN MULTILEVEL CONTROL IS REQUIRED PER 130.1(b) (ENCLOSED AREA >=100 SQUARE FEET AND LIGHTING LOAD >=0.5 W/FT²) PROVIDE VACANCY SENSOR OR PARTIAL-ON OCCUPANCY SENSOR. WHEN MULTILEVEL CONTROL IS NOT REQUIRED PER 130.1(b), PROVIDE OCCUPANT SENSOR, PARTIAL-ON OCCUPANT SENSOR, OR VACANCY SENSOR.

130.1(f) PARTIAL OR FULL-OFF OCCUPANT SENSORS
 PROVIDE MULTILEVEL OCCUPANT SENSORS, IN ADDITION TO SHUTOFF CONTROLS PER 130.1(d) AND 130.1(c), IN THE FOLLOWING SPACES:

- ASSESSMENT AND OPEN AREAS IN WAREHOUSES
- LIBRARY BOOK STACK AREAS
- CORRIDORS AND STAIRWELLS
- OFFICES GREATER THAN 250 SQ. FT.

Indoor Lighting Mandatory Measures:

130.1(g) CONTROL INTERACTIONS
 EACH LIGHTING CONTROL INSTALLED TO MEET 130.1 REQUIREMENTS SHALL INCORPORATE THE FUNCTIONS OF OTHER LIGHTING CONTROLS REQUIRED BY THIS SECTION.

1. FOR GENERAL LIGHTING, MANUAL AREA CONTROL SHALL PERMIT THE LEVEL OF LIGHT PROVIDED WHILE LIGHTING IS ON TO BE SET OR ADJUSTED BY CONTROLS SPECIFIED IN 130.1(b), (c), (d) and (f).
2. MANUAL AREA CONTROL SHALL PERMIT SHUTOFF CONTROL TO TURN THE LIGHTING DOWN OR OFF.
3. MULTILEVEL CONTROL SHALL PERMIT THE AUTOMATIC DAYLIGHTING CONTROL TO ADJUST ELECTRIC LIGHTING IN RESPONSE TO DAYLIGHT.
4. MULTILEVEL CONTROL SHALL PERMIT THE DEMAND RESPONSIVE (DR) CONTROL TO ADJUST LIGHTING DURING A DR EVENT THEN RETURN IT TO THE LEVEL SET BY THE CONTROL AFTER THE EVENT.
5. SHUTOFF CONTROL SHALL PERMIT THE MANUAL AREA CONTROL TO TURN THE LIGHTING ON.
6. AUTOMATIC DAYLIGHTING CONTROL SHALL PERMIT MULTILEVEL LIGHTING CONTROL TO ADJUST THE LIGHTING LEVEL.
7. FOR LIGHTING CONTROLLED BY MULTILEVEL LIGHTING CONTROLS AND OCCUPANT SENSING CONTROLS THAT PROVIDE AUTOMATIC ON FUNCTION, CONTROLS SHALL PROVIDE A PARTIAL-ON FUNCTION THAT IS CAPABLE OF AUTOMATICALLY ACTIVATING BETWEEN 50-70% OF CONTROLLED LIGHTING POWER.
8. RESERVED
9. FOR SPACE CONDITIONING SYSTEM ZONES SERVING ONLY SPACES THAT ARE REQUIRED TO HAVE OCCUPANT SENSING CONTROLS SHALL BE CONTROLLED BY OCCUPANCY SENSING CONTROLS.



DESIGNER
 KEN NGUYEN
 730 GIRARD ST
 SAN FRANCISCO, CA 94134
 P. 415. 699.5886

FISHERMEN 'S CATCH BAIT & TACLE
 6220 BRIDGEHEAD ROAD
 OAKLEY , CA 94561

ISSUED

NO.	DESCRIPTION	DATE
△		

Designed by: KN
 Drawn by: KN
 Job: 06.24.24
 Date: 06.24.24
 Scale: NTS

SHEET TITLE:
 TITLE-24 REPORT

SHEET NO.
 T-2

Attachment 5
Development Review Design Guidelines
 2685 E. Leyland Road, AP-24-0085 (AUP, DR)

Section III: Multi Family	Project Complies?	If Not, Why?
III.a: A/C units should be substantially screened from view by way of permanent screen or appropriately sized plant material.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
III.e: Parking lots should not dominate area adjacent to public streets. Structures and parking should be interspersed creating pockets of parking and variety from a streetscape point of view.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
III.f: Trash enclosures should include area for collection of recyclables (example: space for two 90 gallon containers minimum, See Appendix #2 Trash Enclosure Design Standards)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
Commercial Design Guideline No.:	Project Complies?	If Not, Why?
IV.a: Parking areas should be screened from view from any public right-of-way. Parking areas should be broken up to eliminate vast areas of parking especially along street frontages.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	Existing open parking to be maintained.
IV.c: Existing trees on site should be incorporated into the project site design, unless waived by the City Planner or Planning Commission.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.d: Developer should screen all utility box transformers, backflow preventers, meters, and junction boxes.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.f: Continuous horizontal roof lines should be broken up whenever possible.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
IV.g: Building entries should be designed as a focal point. They should be designed to set the theme or be the primary feature of the building or commercial center.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
IV.h: Building elevations visible from public right-of-ways should be addressed in design review and treated appropriately.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.j: All roof mounted equipment should be screened completely from view from all public	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

right-of-ways. A site-line study may be necessary to determine appropriate screening method.	<input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.k: All structures including, but not limited to, 'tilt-up' type structures, should have structural reliefs and articulated entries.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.m: Downspouts should be designed into the façade of the building unless architecturally treated.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.p: New or remodeled buildings should be designed to be compatible in design, color and materials with adjacent development.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.q: The street-oriented elevations shall be designed so as not to present the appearance of a rear elevation.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
IV.r: Trash enclosures should include area for collection of recyclables (i.e. space for two 90-gallon containers minimum).	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> COA <input type="checkbox"/> N/A	

Green Building Guideline No.:	Project Complies?	If Not, Why?
VI.C.1: Residential buildings without solar energy systems, roof surface should be covered with a green/living roof (>= 50% of roof surface) or with a cool roof.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.C.2: Uncovered rooftop expanses greater than 200 square feet should be designed to be strong enough to support green roof s, community gardens, raised beds, and be accessible to occupants for gardening purposes.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.C.3: Roofs should have solar hot water systems (panels), solar photovoltaic panels or low-profile wind turbines and should include a sustainable plan for maintenance of such systems. Roofs should be covered with a cool roof under the energy generation structures. Roof segments that are uncovered by energy systems should host raised bed garden space	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	

or greenhouses, a green/living roof, or cool roof surfaces.		
VI.C.4: Parking lot impacts should be minimized. a. More than 20 spaces. b. Urban heat island impacts should be minimized through the use of shading (parking lot trees) or paving material design choices.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	Shading trees are along the sides of the parking lot. The parking lot has less than 20 spaces.
VI.C.5: Electric vehicle charging units should be made available to tenants with electric vehicles. The parking spaces with charging units should be clearly marked with signs designating them for assigned tenants or electric vehicle use only.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.C.6: Pedestrian and bicycle path should provide safe, visible, and unobstructed bicycle and pedestrian access between facilities, from entrances to bicycle and pedestrian routes (sidewalks and bicycle lanes), through parking lots, and between facilities and existing or planned bicycle and pedestrian routes.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.C.7: Convenient, visible and secure bicycle storage facilities should be available on site, sufficient to accommodate demand of residents and guests.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.C.8: Outdoor design and features should maximize landscaping water conservation. a. City or State water efficient landscape ordinance b. Incorporate community garden as amenity for tenants c. Permeable hardscape consistent with C.3 of NPDES regulations d. Incorporate a rain garden to utilize rainwater generated by majority of available roof area.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.D.1: Roofs should be designed to integrate renewable energy systems and provide a cool urban environment.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.D.2: Urban heat island impacts should be minimized.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.D.3: Hardscapes should be constructed with permeable surfaces. Impermeable surfaces	<input type="checkbox"/> Yes <input type="checkbox"/> No	

may be used if they direct all runoff toward an appropriate permanent infiltration feature.	<input checked="" type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.D.4: Design choices should incorporate or prepare for electric vehicle charging or used vegetable oil fueling infrastructure.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.D.5: Fuel cell technology should be considered where other renewables are infeasible.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.D.6: Reclaimed water should be used for as much non-potable water uses as feasible and practical.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.D.7: Large commercial and institutional facilities that are anticipated to employ more than 50 employees should consider providing on-site shops and services for those employees.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input checked="" type="checkbox"/> N/A	
VI.D.8: Street side building faces should encourage walking.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> COA <input type="checkbox"/> N/A	
VI.D.9: Secure bicycle parking facilities should be provided for at least 10 percent of expected peak hour trips.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> COA <input type="checkbox"/> N/A	



City of Pittsburg

Community and Economic Development Department – Planning Division
65 Civic Avenue, Pittsburg, CA 94565 | Tel: (925) 252-4920 | Fax: (925) 252-4814

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the ZONING ADMINISTRATOR of the City of Pittsburg will conduct a public hearing on:

DATE: October 9, 2024
TIME: 1:30 PM
PLACE: First Floor, Conference Room 4B
65 Civic Avenue, Pittsburg, California

Concerning the following matter:

Fisherman’s Catch, 2685 E. Leyland Road, AP-24-0085 (UP, DR)

Application for Administrative Use Permit (UP) and Administrative Design Review (DR) to establish a seafood processing operation with a specialization in high-quality crab products (light manufacturing) and grocery store (food and beverage sales) establishment within existing commercial building located at 2585 E. Leyland Road, Pittsburg, CA 94565.

The site is classified “Employment Center Industrial” in the Pittsburg General Plan land use map and zoned “Limited Industrial with Overlay (IL-O)”.

Assessor’s Parcel Nos. 088-152-017

This project is delegated to the Zoning Administrator under PMC Section 18.10.050 and 18.28.020(B).

PROJECT PLANNER: Maurice Brenyah-Addow, (925) 252-4261 or mbrenyah-addow@pittsburgca.gov.

Why am I receiving this notice?

You are receiving this notice because you have either previously requested notifications from the Planning Division, or a project has been proposed in your neighborhood and all property owners within a minimum 300-foot radius of the project site are required to be notified under the Pittsburg Municipal Code.

Where can I get more information about this project?


The complete file for this project is available for public inspection; please contact the project planner listed above to make necessary arrangements.

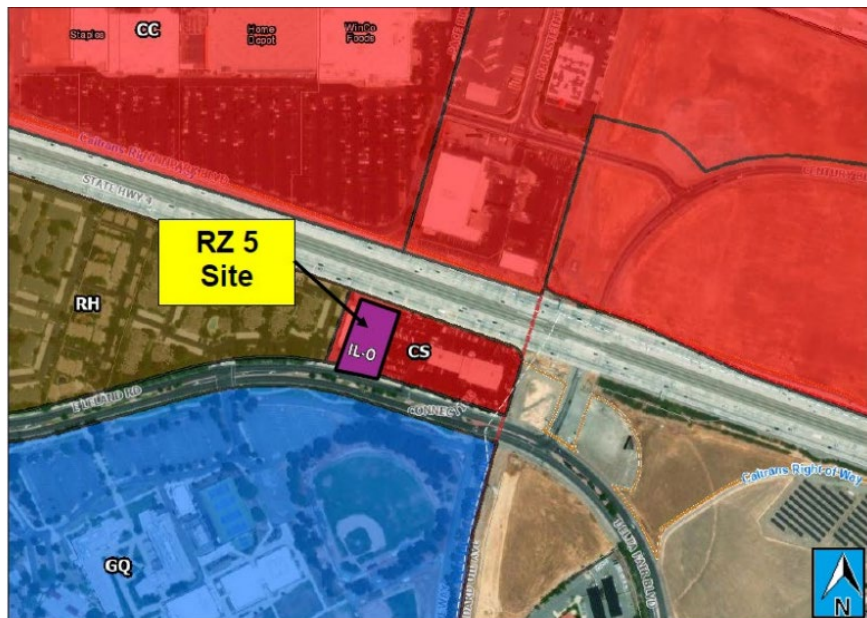
What can I do if I have comments on the project?

Comments or objections to the project can be made by writing or through e-mailed testimony prior to and oral testimony during the meeting. Written comments citing the project name may be emailed to the project planner listed above or may be mailed or delivered to Pittsburg Planning Division, 65 Civic Avenue, Pittsburg, CA 94565.

Pursuant to Section 65009 of the California Government Code, if you challenge this matter in court, you may be limited to those issues you or someone else raised at the public hearing described in this notice, or in written correspondence on the matter delivered to this agency at, or prior to the public hearing. Any written correspondence delivered to the Planning Division before the hearing body’s action on the matter will become a part of the administrative record.

*Para información en español:
(925) 252-4920*


JOHN FUNDERBURG, SECRETARY
PITTSBURG PLANNING COMMISSION





CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

4005 PORT CHICAGO HWY, STE 250, CONCORD, CA 94520 • (925) 941-3300 • CCCFPD.ORG

August 7, 2024

Mr. Maurice Brenyah-Addow
City of Pittsburg
Planning

Subject: TI for Fisherman Catch Store
2685 E Leland, Pittsburg

CCCFPD Project No.: P-2024-002632

Dear Mr. Brenyah-Addow

We have reviewed the design review to establish a TI of an existing 8074 SF building to a seafood processing and grocery store at the subject location. The following is required for Fire District approval in accordance with the 2022 California Fire Code (CFC), the 2022 California Building Code (CBC), the 2022 California Residential Code (CRC), and Local and County Ordinances and adopted standards:

Submit Tenant Improvement Plans.

1. The developer shall submit building construction plans and specifications for the subject project to the through the Fire District public portal (<https://confire.vision33cloud.com/citizenportal/app/landing>). After the new construction / tenant improvement plans are approved, plans and specifications for all deferred submittals shall be submitted, including, but not limited to the following.
 - Carbon Dioxide Systems
 - Commercial kitchen hood extinguishing systems

All plan submittals shall be submitted to the through the Fire District public portal (<https://confire.vision33cloud.com/citizenportal/app/landing>) for review and approval **prior** to construction of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC

TO SCHEDULE A FIRE DISTRICT INSPECTION OF THE ACCESS AND HYDRANT INSTALLATION PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIAL ON THE JOB SITE, CONTACT THE FIRE DISTRICT (MINIMUM 2 WORKING DAYS IN ADVANCE) AT 925-941-3300 EXT 3902 OR SCHEDULE THROUGH THE FIRE DISTRICT PUBLIC PORTAL UNDER THE CORRECT PERMIT NUMBER.

<https://confire.vision33cloud.com/citizenportal/app/landing>

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,



Michael Cameron
Fire Inspector

File: 2685 EAST LELAND RD-PLN-P-2024-002632

Building Divisions COA Comments

1. On the cover sheet, please indicate the building Design Codes applicable to this project. The City of Pittsburg has adopted and enforces the following building Design Codes: 2022 California Administrative Code (CAC), 2022 California Building (CBC), 2022 California Historical Building Code (CHBC), 2022 California Existing Building Code (CEBC), 2022 California Green Building Standards Code (CGBSC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code (CEC Part 6), 2022 California Fire Code and the Pittsburg Municipal Code (RMC). Reference CRC Sec. R106.
2. On the cover sheet, please verify the Drawing Index includes all plan sheets. And design criteria. Reference CRC section R106
3. The preparation of plans and documents shall be prepared by a registered design professional where required per statutes of the City of Pittsburg where the project is being built. The licensed architect or engineer shall affix a stamp to the plans as evidence of the person's responsibility for the documents. Licensed Mechanical, Plumbing and Electrical Contractors may design the systems that they are to install. On plans not required to have a design professional and are designed by a plans designer shall sign every sheet.
4. The Site Plan shall show the size and location of the new construction and existing structures on the site and distances from lot lines and other structures, and include where the residence ties into sewer, power and water from the street.
5. All supporting documents are included but are not limited to, truss plans and calculations with a letter of approval for the trusses by the EOR. Energy calculations and all other pertinent information for this project.

Nick Henderson, CBO

City of Pittsburg

Odor Management Plan - Fisherman's Catch (2685 East Leland Road)

- 1. Enclosed Processing Areas:** All processing activities will be conducted in fully enclosed areas to prevent odor escape. These spaces will maintain negative air pressure to further ensure that no untreated air escapes into the external environment. Doors will be equipped with air curtains to minimize air exchange when opened and closed. **No cooking or boiling of seafood shall be permitted in the processing areas or on-site.**
- 2. Regular Maintenance and Cleaning Protocols:** Understanding that cleanliness is critical in controlling odors, Fisherman's Catch will implement strict cleaning protocols. Processing equipment, floors, and surfaces will be cleaned multiple times throughout the day using odor- neutralizing cleaning agents. Additionally, all waste and processing materials will be promptly and properly disposed of (as shown in the attachments) to prevent decay and odor development on-site.
- 3. Waste Management and Storage:** Fish/seafood waste, which is a primary source of processing odors, will be handled meticulously. We will use sealed containers and refrigerated storage to inhibit bacterial growth and odor until the waste can be removed from the site. Waste will be transported off-site daily, adhering to the highest standards of sanitary control. We also will utilize vendors who will buy the waste in order to make fertilizer. This will not only help reduce odors, but also reduce waste.
- 4. Employee Training:** Our team will receive quarterly comprehensive training focused on operational best practices and rapid response measures for any potential odor issues. By ensuring all employees are knowledgeable about the importance of odor control and trained in effective techniques, we can maintain a consistently odor-minimized environment.
- 5. Ongoing Monitoring and Community Engagement:** Fisherman's Catch will implement continuous monitoring of odor control measures. This data will be reviewed monthly to ensure compliance with odor management standards. Fisherman's Catch is dedicated to implementing a robust odor control strategy that employs the latest technologies and best practices in industry. We understand the importance of maintaining a pleasant and healthy environment for both our employees and the neighboring community. Our commitment is not only to comply with all local environmental regulations but to strive for leadership in sustainable and responsible business practices.

The City of Pittsburg Community and Economic Development Department staff reserves the right to inspect the business for review and enforcement of the above odor management plan measures as regularly needed to ensure compliance.

Attachments:

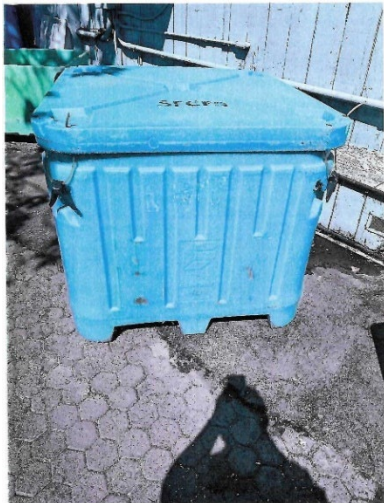
Picture 1 – Tallow Bin

Picture 2 – Tallow Bin

Picture 3 – Tallow Bin

Fisherman's Catch – Tallow Bin – Exhits to Attachment 8

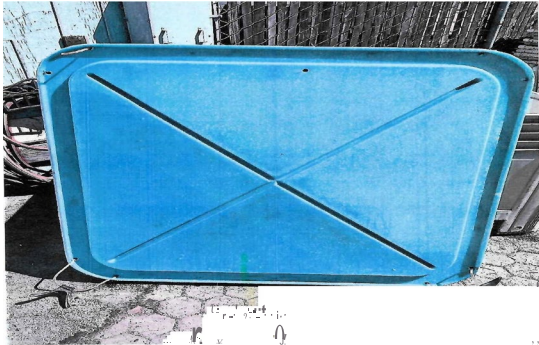
Picture 1



Picture 2



Picture 3



STANDARD CONDITIONS OF DEVELOPMENT

(Planning Commission Resolution No. 8931)

All projects approved by the Planning Commission must meet the following standard conditions unless specifically exempted by the Commission or Council.

A. Project Site.

1. The applicant shall comply with all regulations and code requirements of the Building Division, Engineering Division, Contra Costa Fire Protection District, the Police Department and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final building and site plans.

2. Developer shall provide written notification to adjacent property owners for any drainage work required to collect or convey storm water runoff, which may or will affect their properties.

3. During construction water trucks or sprinkler systems are to be used in sufficient quantities to prevent dust from leaving the site during any earthmoving and/or construction activities. Nonpotable water shall be used from a source approved by the City Engineer. (Title 15 of PMC)

4. Continuous 6" high Portland Concrete Cement curbing shall be provided between all driveways and landscaped areas as indicated in the City of Pittsburg Standard Details. In addition to above, curbing between length of parking space and landscaped area shall include a 12" wide "Courtesy Curb."

5. CC&R's (Covenants, Conditions and Restrictions) for the project shall contain appropriate provisions for joint maintenance of any infrastructure, roadways, utilities, landscaping and irrigation as determined necessary by the City Engineer.

6. Developer shall submit a study addressing on and off-site storm water and sewer system capabilities. If the study

indicates that the present system is inadequate, the developer must provide plans and install any additional storm water and sanitary and sanitary sewer facilities including off-site improvements to correct storm water runoff and sanitary sewer demands anticipated for upstream buildout in accordance with the Pittsburg General Plan.

7. Environmental and engineering studies, as directed by the Planning and Building Director, must be complete and on file prior to commencement to plan checking. Developer shall install off-street improvements determined necessary by the City Engineer to provide safe traffic conditions.

8. Developer shall underground existing and required on and off-site utilities as specified in Chapter 17 of the Municipal Code or as deemed necessary by the City Engineer.

9. All site development shall comply with title 12 (Streets, Sidewalks and Utilities), Title 13 (Water and Sewers) and Chapter 15.88 (Grading, Erosion and Sediment Control) of the Pittsburg Municipal Code as determined by the City Engineer. Issuance of a site development permit will be required whereby specific engineering requirements will be made as conditions of approval of that permit.

10. The CC&R's shall restrict the storage of recreational vehicles on this site or parcels unless they are the principle source of transportation for the owner and prohibit parking on the public street for long than 72 hours.

11. All retaining wall adjacent to public right-of-ways shall be provided with decorative treatment, subject to approval by the Planning Division.

12. The design of any masonry soundwall shall be approved by the Planning and Building Department. It shall match or harmonize with existing soundwalls of neighboring projects along that street.

B. Architecture.

1. All mechanical, irrigation, ground and/or roof mounted equipment shall be architecturally screened from view from all public right-of-ways prior to issuance of certificate of occupancy.

2. All trash enclosures shall be constructed of masonry material with self-enclosing doors and have a second access. The enclosure shall have materials and colors consistent with the primary building.

3. All vents, gutters, downspouts, flashing electrical conduits, etc., shall be painted or finished to match the color of the adjacent surface unless otherwise directed by the Planning Commission.

4. Soffits and other architectural elements visible from view but not detailed on the plans shall be finished in a material in harmony with the exterior of the building.

5. Finish quality of exterior design elements including, but not limited to, building façade landscaping shall be subject to approval of the Planning Division prior to issuance of Certificate of Occupancy.

C. Landscaping.

1. Specific landscaping for screening shall have an appearance of mature growth subject to a field check and approval by the

Planning Division prior to Certificate of Occupancy.

2. The area under the drip line of all existing trees, which are to be saved, shall be fenced during construction. Grading shall be restricted under them to prevent soil compaction around the trees and to protect them from damage.

3. An existing tree inventory shall be created and included on the site plan for all new projects prior to approval of grading plan.

4. All slope banks in excess of five (5) feet in vertical height and 2:1 or greater slope shall be landscaped and irrigated for erosion control and to soften their appearance as follows: one 15-gallon or larger size tree per each 150 sq. ft. of slope area, one 1-gallon or larger size shrub per each 100 sq. ft. of slope area, and appropriate ground cover 12-24 inches on-center. In addition, slope banks in excess of eight (8) feet in vertical height and 2:1 or greater slope also include one 5-gallon or larger size tree per each 250 sq. ft. of slope area. Trees and shrubs shall be planted in staggered clusters to soften and vary slope plane. Slope planting required by this condition shall include a permanent irrigation system to be installed by the developer prior to occupancy.

6. All planting shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, planting shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements. Required irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to insure continued regular watering of landscape areas, and health and vitality of landscape materials.

D. General Requirements

1. Final inspection for occupancy permits will not be granted until all construction and landscaping is complete in accordance with approved plans.
2. The applicant shall defend, indemnify and hold harmless the City of Pittsburg, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this approval, or any aspect of the City's consideration of applicant's project. The applicant recognizes and agrees that applicant's voluntary commitment to meet the obligations described in this condition is an integral factor in the City's approval of this project. The intent of this condition is to require the applicant to bear the cost of any and all litigation instituted to overturn or in any way modify the City's approval of this project. Such costs include without limitation, any award of attorney's fees and costs to a prevailing plaintiff or petitioner. In the event the city becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant and shall cooperate fully in the defense. If the City fails to promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, it both the following occur: (a) the City bears its own attorneys' fees and costs; and (b) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the applicant approves the settlement.
3. It is required by State Law (Business and Professional Code Section No. 5537 & 5538 and Section 302(b) of the Uniform Building Code) that all commercial buildings, new or existing must have a licensed professional designer (Architect, Civil or Structural

Engineer) to design all changes of use or occupancy as well as new construction.

4. The Applicant shall submit a complete area water pressure availability study for all phases of the Project prior to issuance of any development permits. If the study indicates that the present system is inadequate, the Applicant must provide plans, which will demonstrate any remedial action necessary to abate the deficiency and shall take all necessary actions at the applicant's expense.
5. This use permit may be recalled to the Planning Commission for review at any time due to complaints regarding lack of compliance with conditions of approval, traffic congestion, noise generation, or other adverse operating characteristics. At such time, the Commission may revoke the use permit or add/modify conditions approval.
6. It is the responsibility of the applicant or developer to check with each agency for requirements that may pertain to their project.
7. All signs shall be submitted to the Planning Division for design review per Title 19 of the Pittsburg Municipal Code.
8. All landscape areas shall be maintained in a healthy, thriving and weed free condition.
9. The site shall be maintained in a neat and clean manner free of trash and debris.
10. All outdoor mechanical equipment, satellite dishes, fire main and all rooftop equipment shall be fully visually screened upon installation subject to the approval of the Planning Division. Screening devices shall be shown on construction and/or landscape plans.
11. All exterior light fixtures shall be shown on plans subject to staff review and approval. All lights attached to buildings shall provide a soft "wash" of light against

the wall. All building and parking or yard lights shall conform to City Parking Standards 18.78.050 (F) and Performance Standards 18.82.030 (B) and shall compliment the site and building architecture.

12. Prior to occupancy, the developer shall supply the City with an ACAD computer disk file showing plans that reflect the project as it was build (As-Builts) at the discretion of the Planning and Building Director.

E. Standard Conditions of Approval Requiring Minimum Construction Site Management Practices

1. (Projects involving land disturbances of less than five (5) acres) – During construction activities, the project sponsor shall reduce or prevent to the maximum extent practicable the direct or indirect discharge of any pollutant into the storm drain system utilizing best management practices contained in the California Storm Water Best Management Practices Handbook for Construction Activities. Construction activities include, but are not limited to: watering operations; roadwork and paving operations; concrete and painting; structure construction and painting; construction material storage and handling; construction waste/debris storage and disposal; and, construction equipment/vehicle cleaning, maintenance and fueling operations. The project sponsor is also responsible for training all contractors and subcontractors on the best management practices which are identified in the California Storm Water Best Management Practices Handbook for Construction Activities which will be available at the pre-construct meeting of the project.

or

2. (Projects involving land disturbances of five (5) acres or more) – Prior to commencement of any site work that will

result in a land disturbance of five acres or more, the project sponsor shall submit to the City a copy of the Notice of Intent (NOI) sent the State Water Resources Control Board and the Stormwater Pollution Prevention Plan (SWPPP) prepared for the project, as required by the State’s General Construction Activity Permit.

3. All storm drains, which serve the site, shall be protected from spills and soil runoff (from unpaved parking areas). The applicant may use “Any Source Control” BMP (Best Management Practice) as listed in the California Storm Water Best Management Practice Handbook for storm water run-ff for commercial and industrial sites. Storm drains will be inspected periodically. Questions may be referred to City NPDES Coordinator, at 252-4920.